TAYLOR

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TAYLORCONSULTING.NET.AU

CONSULTING ENGINEERS
Civil
Structural
Stormwater & Flood

13 June 2025

Jason Gai
Archisoul Architects
23/28-34 Roseberry Street
BALGOWLAH NSW 2093

Address of the Project: **23 Chelmsford Avenue, Bankstown**

Description of Project: **Development Application Flood Review**

Taylor Consulting Engineers has been engaged to undertake an initial review of the preliminary design for the above property. This report investigates the flood-prone nature of the property. It acknowledges that it has been identified as flood-affected by the City of Canterbury-Bankstown Council Stormwater System Report dated 16 July 2024 as being affected by the 1% Annual Exceedance Probability (AEP) and the Probable Maximum Flood (PMF). Refer to Appendix A for the Council's Stormwater System Report.

The Council was able to issue (certified) site-specific flood data for the location of the proposed works as follows:

- Flood Category 1 - Medium Hazard - High Hazard
- 1 in 100-year flood level - 14.60 m A.H.D. - 15.00 m A.H.D.
- Flood Planning Level (MAX) - 15.10 m A.H.D. - 15.50 m A.H.D.
- Probable Maximum Flood - 15.30 m A.H.D. - 15.70 m A.H.D.

Existing Site

The 503.93m^2 site is situated in the Salt Pan Creek catchment. The property falls to the rear (northern) boundary, with a Council concrete drainage channel located parallel to the rear boundary.

Proposed Development

This Development Application seeks to construct a two-level dwelling and garage at the property's northern end (rear). The proposed works are referenced on the plans by Archisoul Architects—project 2271—3 June 2025. Refer to Appendix B for the plans.

Flood Compliance

Canterbury-Bankstown Development Control Plan Chapter 2.2 - Flood Risk Management, dated June 2023, states that the development must comply with the following controls within a Medium-Risk Flood Precinct, refer to Table 1 below:

General notes and controls :

1. Freeboard equals an additional height of 500mm.

2. The relevant environmental planning instruments (generally the Local Environmental Plan) identify development permissible with consent in various zones in the LGA. Notwithstanding, constraints specific to individual sites may preclude Council granting consent for certain forms of development on all or part of a site. This matrix identifies where certain development types will be considered "potentially unsuitable" due to flood risks.

3. Council can consider a DA for a "potentially unsuitable use" that clearly complies with the objectives of this DCP and with the performance criteria. In this case, prescriptive controls will be applied on a DA specific.

4. Filling of the site, where acceptable to Council, may change the FRP considered to determine the controls applied in the circumstances of individual applications.

5. Refer to Section 5 of this DCP for planning considerations for proposals involving only the erection of a fence. Any fencing that forms part of a proposed development is subject to the relevant flood effects and structural soundness planning considerations of the applicable land use category.

6. Terms in italics are defined in this DCP and Schedule 2 specifies development types included in each land use category. These development types are generally as defined within Environmental Planning Instruments applying to the LGA.

7. From time to time, Council may adopt mapping showing the Boundary of Significant Flow and/or Flood Storage Areas for this floodplain. Refer to Council to find out if these areas have been defined and mapped for this floodplain.

Planning consideration	Reference	
Floor level	2	Habitable floor levels to be no lower than the 100-year flood level plus freeboard. *Response: All new habitable areas of the proposed dwelling are to be constructed at **R.L. 15.50**, above 100-year flood level plus freeboard at **R.L. 15.00 A.H.D.*****
	6	Non-habitable floor levels to be no lower than the 20-year flood unless justified by site-specific assessment. *Response: 20-year flood does not affect the subject site.*
	7	A restriction is to be placed on the title of the land, pursuant to section 88B of the *Conveyancing Act 1919*, where the lowest habitable floor area is elevated more than 1.5m above finished ground level, confirming that the undercroft area is not to be enclosed. The use of roller shutters or similar measures (such as hit and miss brickwork) to enclose this area is however permissible. *Response: This does not apply as the minimum floor level above the finished surface level is approximately 1.0m.*
Building Components & method	1	All structures to have flood compatible building components below the 100-year flood level plus freeboard. *Response: All new building elements below the 100-year flood level shall be constructed from flood-compatible materials. A table of equivalent flood-compatible materials is contained within Appendix C.*
Structural soundness	1	Engineer's report to certify that the structure can withstand the forces of floodwater, debris and buoyancy up to and including a 100-year flood plus freeboard. *Response: All new building elements are to be designed, constructed and/or modified to ensure structural integrity or immersion and impact of velocity and debris up to the 100-year flood level plus freeboard at **R.L. 15.50m A.H.D**.*

Flood effects	2	The flood impact of the development to be considered to ensure that the development will not increase flood effects elsewhere, having regard to: (i) loss of flood storage; (ii) changes in flood levels and velocities caused by alterations to the flood conveyance and (iii) the cumulative impacts of multiple potential developments in the floodplain. An engineer's report may be required. *Response: All proposed development is located outside any significant flow boundary. The undercroft is not to be enclosed so as not to impede the flood storage or increase flood impacts elsewhere.* *Compensatory flood storage might need to be provided to offset the portion of the floodplain occupied by the proposed garage built below the 100-year flood level. Should an elevated garage be adopted the stairs will be required to access the dwelling. However, the existing dwelling has a curtain foundation wall so the offset storage should be adequate to compensate.*
Car parking & driveway access	1	The minimum surface level of open car parking spaces or carports shall be as high as practical, but no lower than the 20-year flood or the level of the crest of the road at the location where the site has access. In the case of garages, the minimum surface level shall be as high as practical, but no lower than the 20-year flood. *Response: The 20-year flood level does not affect the subject site. The garage is to be built around* ***R.L. 14.60 A.H.D. (min.)*** *to not impede on flood storage.*
	3	Garages capable of accommodating more than three motor vehicles on land zoned for urban purposes, or enclosed car parking, must be protected from inundation by floods up to the 100-year flood. *Response: The proposed garage is to be designed and constructed to ensure structural integrity or immersion and impact of velocity and debris up to the 100-year flood level at* ***R.L. 14.60m A.H.D. (min).***
	5	The level of the driveway providing access between the road and parking space shall be no lower than 0.3m below the 100-year flood such that the depth of inundation during a 100-year flood is not greater than either the depth at the road or the depth at the car parking space. A lesser standard may be accepted for single detached dwelling houses where it can be demonstrated that risk to human life would not be compromised.

		*Response: The proposed driveway providing access between the road and parking space shall be no lower than **R.L. 14.30 A.H.D.** such that the depth of inundation during a 100-year flood is not greater than either the depth at the road or the depth at the car parking space.*
	6	Enclosed car parking and car parking areas accommodating more than 3 vehicles (other than on rural zoned land), with a floor level below the 20-year flood or more than 0.8m below the 100-year flood level, shall have adequate warning systems, signage and exits. *Response: This control does not apply to this project as the proposed garage is to accommodate two vehicles. The proposed garage floor level (**R.L. 14.60m A.H.D.**) is less than 0.8m below the 100-year flood level (**R.L. 14.70m A.H.D. approximately**).*
	7	Restraints or vehicle barriers to be provided to prevent floating vehicles leaving a site during a 100-year flood. *Response: Restraints or vehicle barriers to be provided and kept within the garage for rapid installation in the case of a 100-year flood, If the parking facility is below the 100-year flood level.*
Evacuation	2	Adequate flood warnings are available to allow safe and orderly evacuation without increased reliance upon the SES or other authorised emergency services. *Response: The emergency response is to 'shelter-in-place' within the upper level of the dwelling for significant flood events or otherwise off-site as directed by Emergency Services. A single-page notice and an Actions Checklist should be provided to all occupants.*
	3	The development is to be consistent with any relevant flood evacuation strategy, the Flood Plan adopted by the Council or a similar plan. *Response: The emergency response is to 'shelter-in-place' within the upper level of the dwelling for significant flood events or otherwise off-site as directed by Emergency Services.*

TABLE 1: Flood control compliance measures.

Summary

This is to advise that we have reviewed the proposed plans, details and provided feedback on the proposed development in accordance with applicable flood planning controls.

The proposed works involve the construction of a new two-storey dwelling, designed to maintain the local flooding regime. Subsequently, the advice in the report will ensure the works will not adversely affect neighbouring properties.

As such, the proposed design, which has adopted these recommendations, is considered satisfactory because it will be in accordance with the Canterbury-Bankstown Development Control Plan, Chapter 2.2 - Flood Risk Management.

Should you require any further information, please contact the undersigned.

Yours faithfully
TAYLORCONSULTING.NET.AU

D.M.Schaefer - Director
B.E. Civil (Hons) M.I.E. Aust. N.E.R.
Structural, civil and hydraulic engineer

APPENDIX A

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PO Box 8, Bankstown NSW 1885
Tel: (02) 9707 9010 - Fax: (02) 9707 9408
DX 11220 BANKSTOWN
council@cbcity.nsw.gov.au

CITY OF CANTERBURY BANKSTOWN

To: Thuc Minh Tran
25 Chelmsford Ave
BANKSTOWN NSW 2200

STORMWATER SYSTEM REPORT
23 Chelmsford Avenue, BANKSTOWN NSW 2200

Date: 16-Jul-2024
Ref: WP-SIAONL-1351/2024
Development type: Detached dwelling (single house)

YES FLOOD STUDY REQUIRED

This Stormwater System Report (SSR) provides flood and stormwater information about the property.

The information in this report should be reviewed by those who are knowledgeable in flooding or have a technical requirement to understand more about Council's building development controls (such as surveyors, builders, certifiers, architects and engineers).

Stormwater Infrastructure

The site is affected by the following Council and Sydney Water stormwater systems.

- A 600 mm diameter Council stormwater pipeline (according to Council records) along the western site boundary adjacent to the site.

- A Sydney Water open channel and associated easement along the northern site boundary within the site.

Property Levels

Description	Minimum (m AHD)	Maximum (m AHD)
Approximate Ground Level	14.50	14.50

Flooding Levels

Stormwater Catchment Flooding from

Flood Event	Minimum Level (m AHD)	Maximum Level (m AHD)
5% AEP (20 year ARI)	-	-
1% AEP (100 year ARI)	14.60	15.0
PMF (Probable Maximum Flood)	15.30	15.70

Terms and Definitions

Annual Exceedance Probability (AEP)	The probability of a flood event of a given size occurring in any one year, usually expressed as a percentage annual chance.
Average Recurrence Interval (ARI):	Similar to AEP. The long-term average number of years between the occurrence of a flood as big as (or larger than) the selected event.
metres above Australian Height Datum (m AHD)	The reference level for defining ground levels in Australia. The level of 0.0m AHD is approximately mean sea level.
Maximum and Minimum Ground Level –	Highest and lowest ground levels on the property based on available ground level information. A Registered Surveyor can confirm exact ground levels.
Probable Maximum Flood	An extreme flood deemed to be the largest flood that could conceivably occur at a specific location The PMF defines the extent of flood prone land (i.e. the floodplain).

Further Information
For further information on flood-related development controls which may be applicable to this property, refer to the following guidelines:

- Canterbury Bankstown Development Control Plan (2023, chapter 2.2 Flood risk Management)
- Canterbury Bankstown Development Engineering Standards (2023)
- Council Standard Drawings.

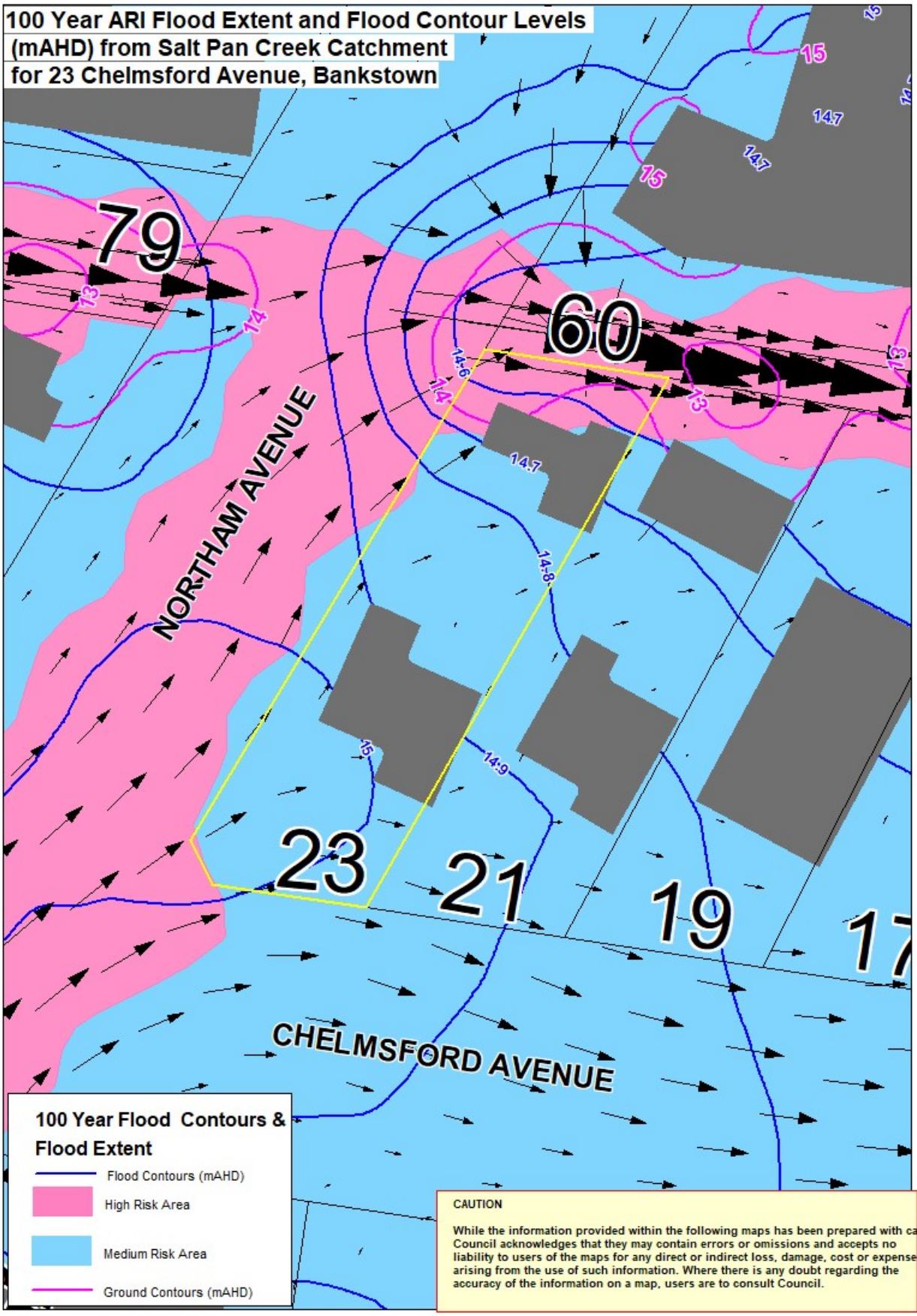
Disclaimer
The information contained in this document is not endorsed by the Council as without error, omission or mis-description. Council accordingly expressly disclaims all and any liability and responsibility in respect of loss, damage or injury to person or property arising from anything done or omitted to be done by any person in reliance, whether wholly or in part, upon any part of this information.

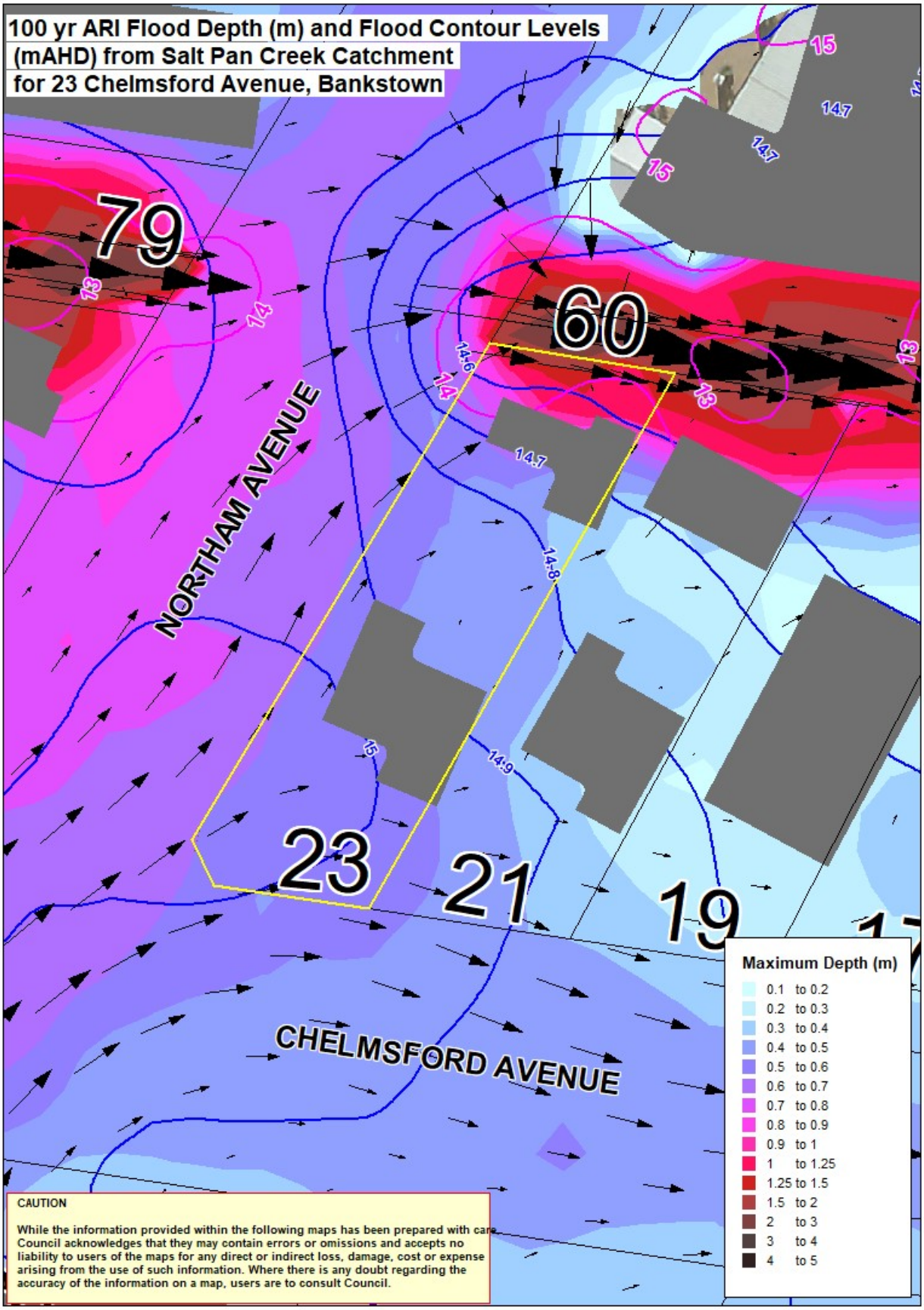
Any person having regard to the information contained in this document is encouraged to seek, at their discretion, all other sources of information on the subject matter as they consider appropriate, which may include local knowledge and/or professional advice.

ATTACHMENTS

For 1% AEP (100 year ARI)
1. Flood Extent & Flood Contours Map
2. Flood Depth Map
3. Velocity Depth Product Map

For PMF
4. Flood Contours & Flood extent Map
5. GIS Map (from Council's Data)
6. Aerial Map (from Council 's Data)


100 Year ARI Flood Extent and Flood Contour Levels
(mAHD) from Salt Pan Creek Catchment
for 23 Chelmsford Avenue, Bankstown
79
60
23
21
19
NORTHAM AVENUE
CHELMSFORD AVENUE
100 Year Flood Contours &
Flood Extent
Flood Contours (mAHD)
High Risk Area
Medium Risk Area
Ground Contours (mAHD)
CAUTION
While the information provided within the following maps has been prepared with care, Council acknowledges that they may contain errors or omissions and accepts no liability to users of the maps for any direct or indirect loss, damage, cost or expense arising from the use of such information. Where there is any doubt regarding the accuracy of the information on a map, users are to consult Council.


100 yr ARI Flood Depth (m) and Flood Contour Levels
(mAHD) from Salt Pan Creek Catchment
for 23 Chelmsford Avenue, Bankstown
79
60
23
21
19
NORTHAM AVENUE
CHELMSFORD AVENUE
15
14.7
14.7
15
13
14
14.6
14
13
13
14.7
14.8
15
14.9
Maximum Depth (m)
0.1 to 0.2
0.2 to 0.3
0.3 to 0.4
0.4 to 0.5
0.5 to 0.6
0.6 to 0.7
0.7 to 0.8
0.8 to 0.9
0.9 to 1
1 to 1.25
1.25 to 1.5
1.5 to 2
2 to 3
3 to 4
4 to 5
CAUTION
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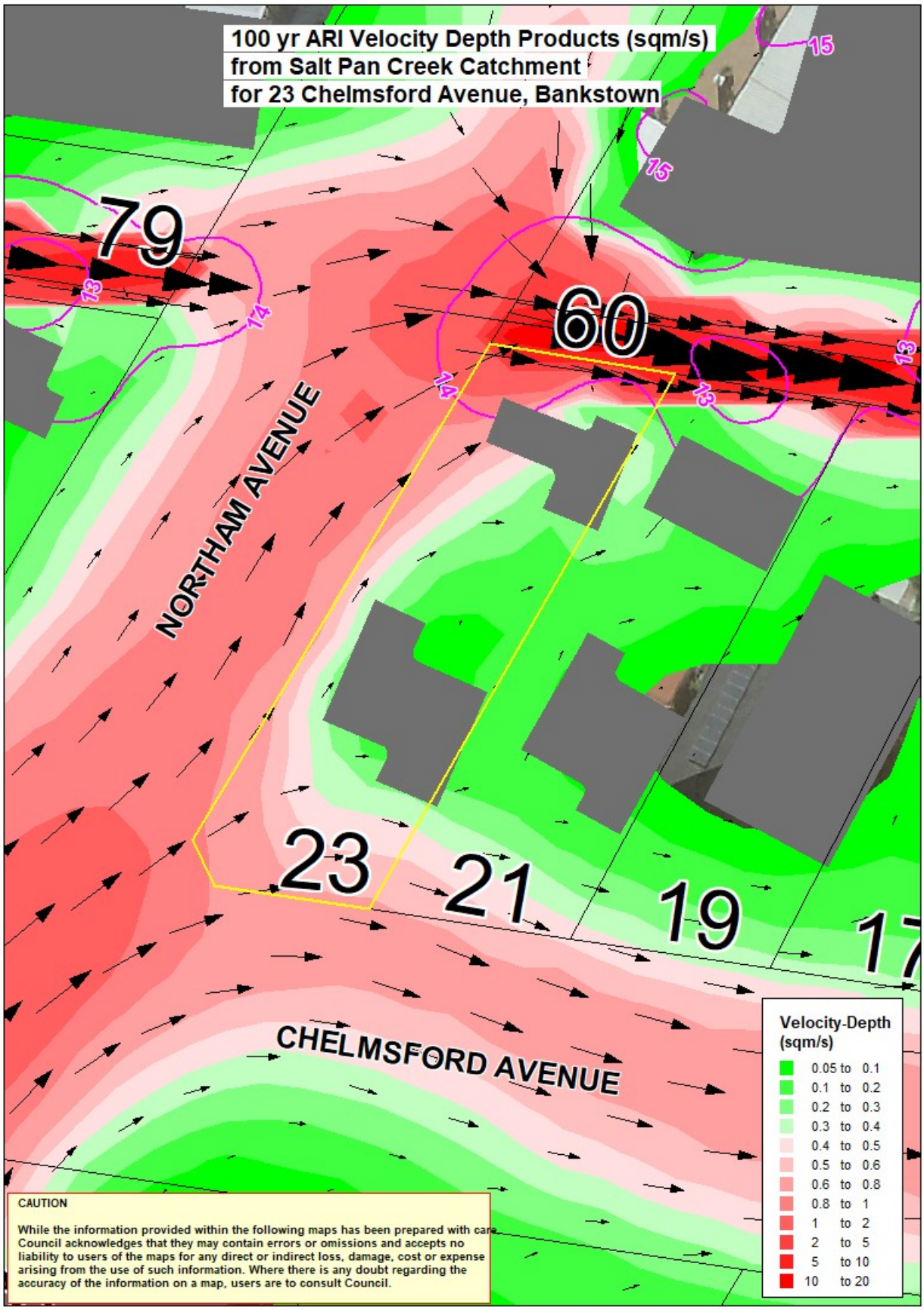
100 yr ARI Velocity Depth Products (sqm/s)
from Salt Pan Creek Catchment
for 23 Chelmsford Avenue, Bankstown
79
60
23
21
19
17
NORTHAM AVENUE
CHELMSFORD AVENUE
13
14
15
Velocity-Depth (sqm/s)
0.05 to 0.1
0.1 to 0.2
0.2 to 0.3
0.3 to 0.4
0.4 to 0.5
0.5 to 0.6
0.6 to 0.8
0.8 to 1
1 to 2
2 to 5
5 to 10
10 to 20
CAUTION
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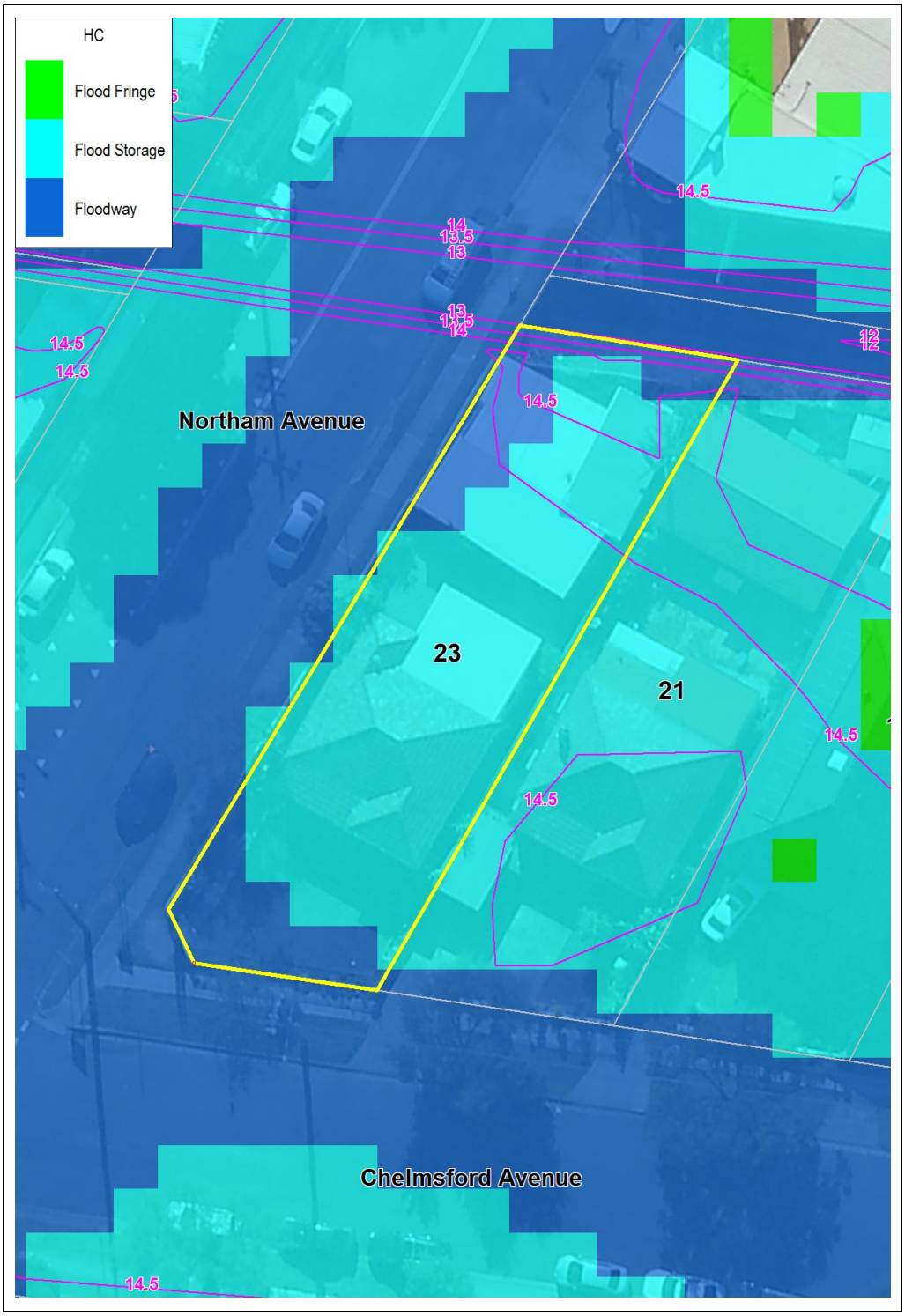
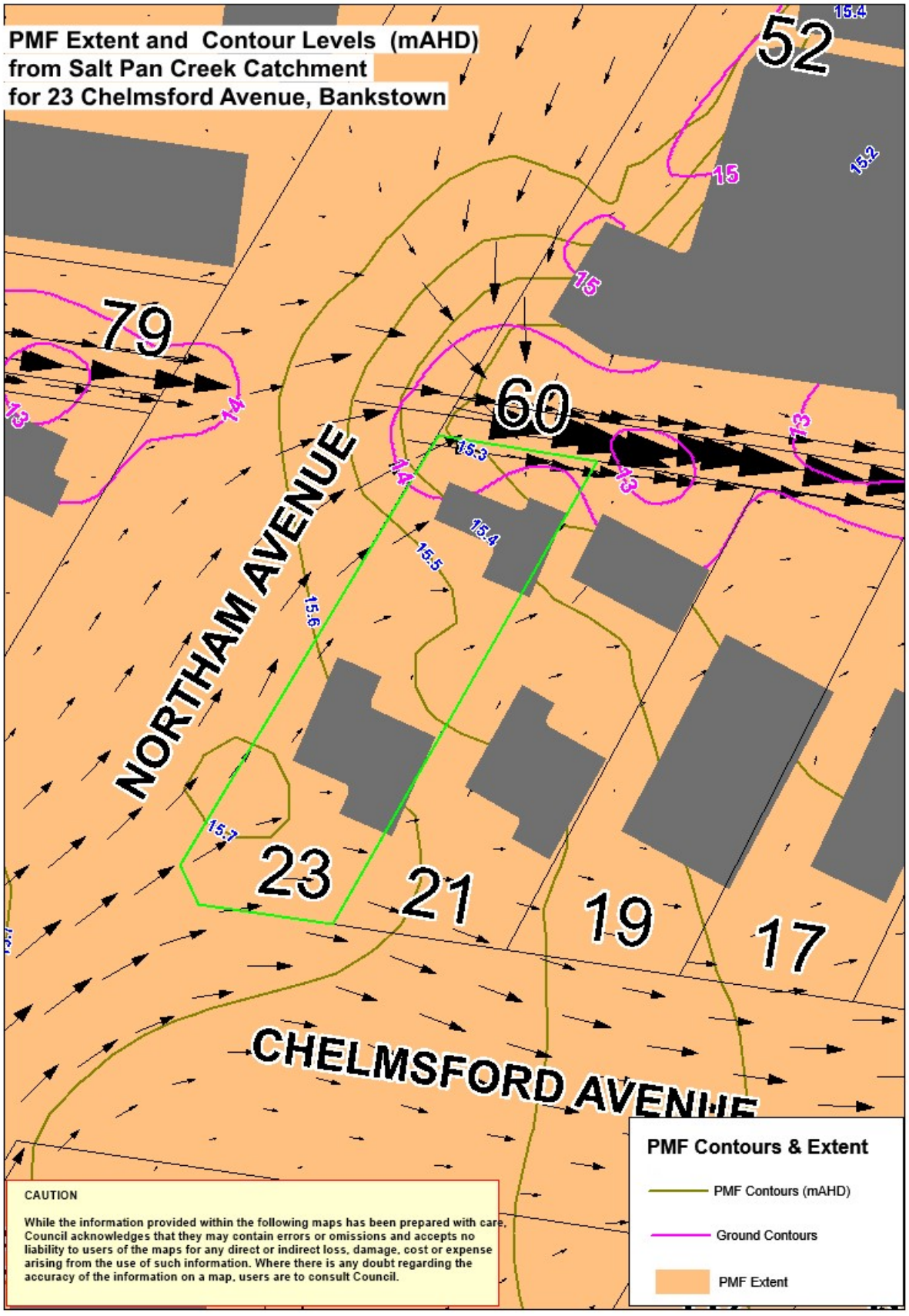


1% AEP (100 year ARI) Flood Hydraulic Category

N


PMF Extent and Contour Levels (mAHD)
from Salt Pan Creek Catchment
for 23 Chelmsford Avenue, Bankstown
NORTHAM AVENUE
CHELMSFORD AVENUE
79
60
52
23
21
19
17
15.4
15.2
15
15
13
14
14
15.3
13
13
15.4
15.5
15.6
15.7
PMF Contours & Extent
PMF Contours (mAHD)
Ground Contours
PMF Extent
CAUTION
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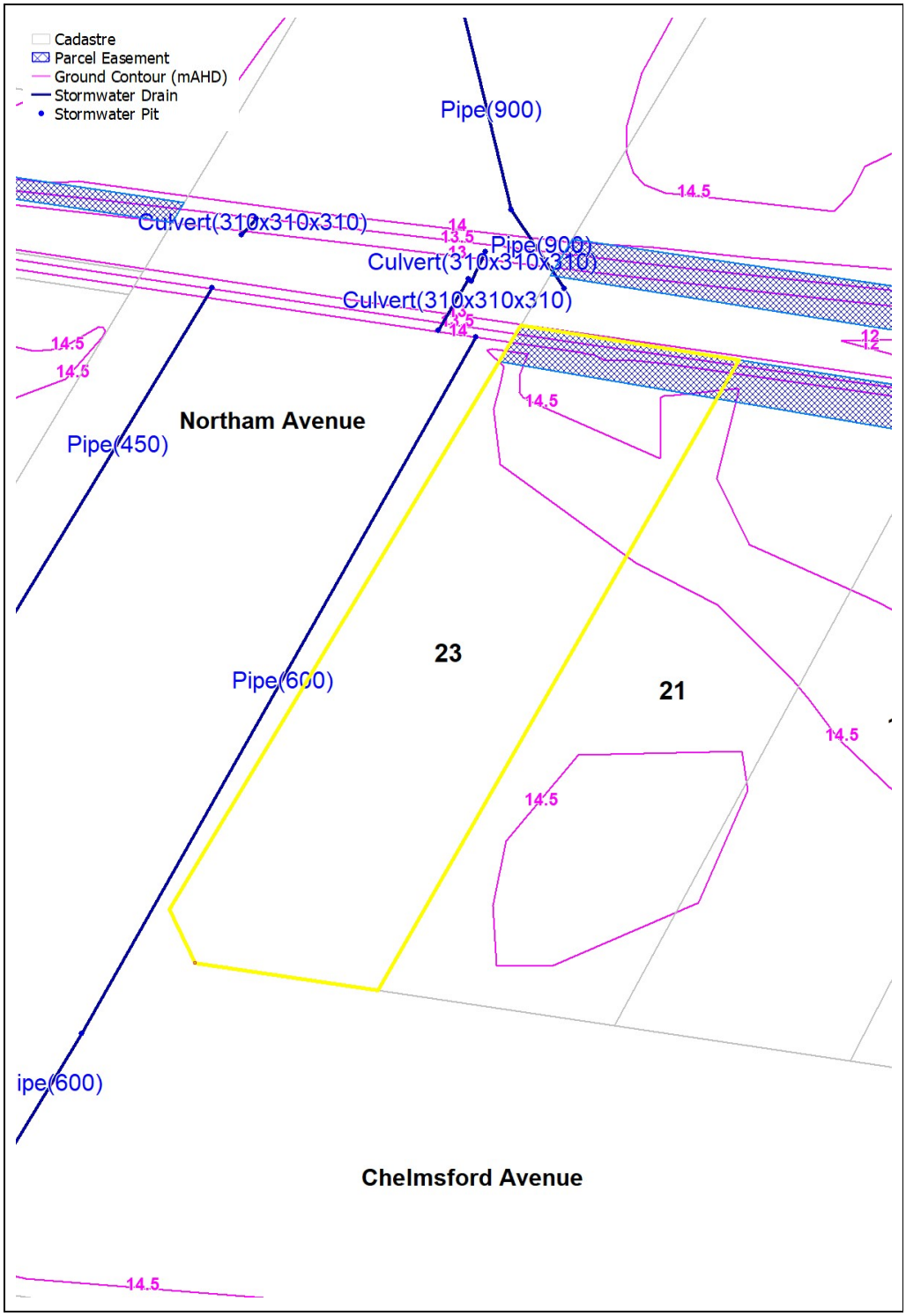


GIS Map for 23 Chelmsford Avenue Bankstown 2200

Aerial Map for 23 Chelmsford Avenue Bankstown 2200

APPENDIX B

DA // Demolition of an Existing House and Propose of a New Dwelling

Tuesday, 3 June 2025

APPLICANT: **Minh Tran**

23 CHELMSFORD AVENUE BANKSTOWN NSW 2200

OPTION	DRAWING No.	DESCRIPTION	REV	ISSUED
DEVELOPMENT APPLICATION (stage 2)				
	DA01	COVER PAGE	01	☒
	DA02	SITE ANALYSIS PLAN	01	☒
	DA03	DEMOLITION PLANS	01	☒
	DA04	PROPOSED SITE PLAN	01	☒
	DA05	FSR AREAS & COMPLIANCE	01	☒
	DA06	PROPOSED GROUND FLOOR PLAN	01	☒
	DA07	PROPOSED FIRST FLOOR PLAN	01	☒
	DA08	PROPOSED ROOF PLAN	01	☒
	DA09	STREET ELEVATIONS	01	☒
	DA10	PROPOSED NORTH & SOUTH ELEVATIONS	01	☒
	DA11	PROPOSED EAST & WEST ELEVATIONS	01	☒
	DA12	PROPOSED SECTIONS	01	☒
	DA13	SHADOW DIAGRAMS 3D - SUMMER SOLTICE	01	☒
	DA14	SHADOW DIAGRAMS 3D - WINTER SOLTICE	01	☒
	DA15	PROPOSED DOOR SCHEDULES	01	☒
	DA16	PROPOSED WINDOW SCHEDULES	01	☒
	DA17	EXTERNAL FINISHES SCHEDULE	01	☒
	DA18	NEIGHBOUR NOTIFICATION PLANS	01	☒

Chelmsford Avenue Perspective

Northam Avenue Perspective

ABSA Australian Building Sustainability Accreditation
Assessments completed within the accreditation period are part of the ABSA quality audit system
Accreditation Period 31/03/2025 - 31/03/2026
Assessor Name Terry Chapman
Assessor Number 20920
This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

Certificate No. 0011592557-03
Scan QR code or follow website link for rating details.
Assessor name Terry Chapman
Accreditation No. 20920
Property Address 23 Chelmsford Avenue,BANKSTOWN NSW,2200
hstar.com.au/QR/Generate?p=iYdBprfxf

ABSA

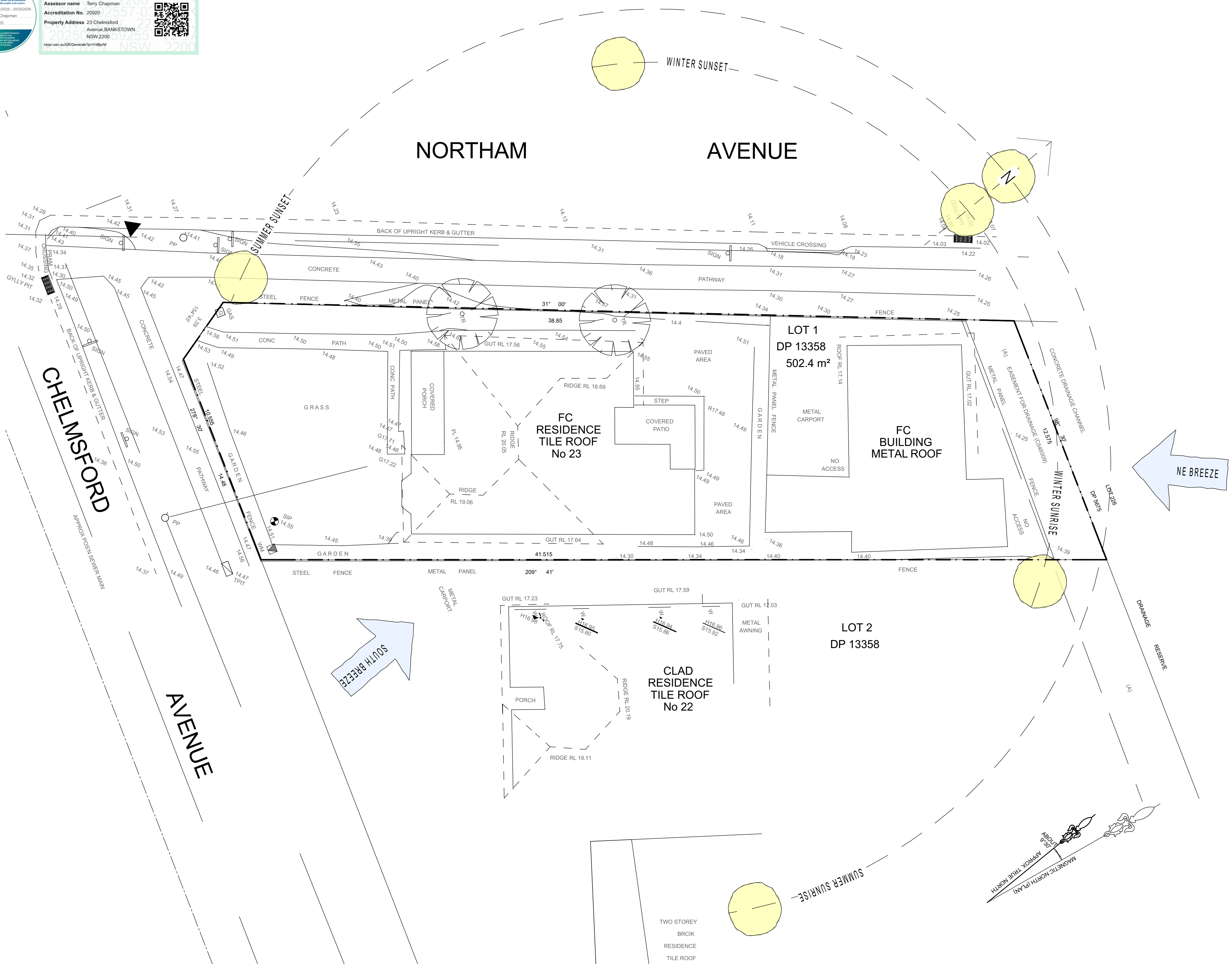
Certificate No. 0011592557-03

Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

Accreditation No. 20920

Property Address 23 Chelmsford Avenue BANKSTOWN NSW 2200



ARCHITECT

ARCHISOUL ARCHITECTS

UNIT 23/28-34 ROSEBERRY STREET
BALGOWLAH NSW AUSTRALIA 2093
Ph: 02 9976 5449
www.archisoul.com.au

NOTES

ABN 92 159 526 066
NSW NOMINATED ARCHITECT **6850** - JOANNE GILLIES
CLASS 2 REGISTERED DESIGN PRACTITIONER - ARCHITECTURAL **DEP0001284**

DRAWING NOT ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO MANUFACTURE & INSTALLATION. ALL ERRORS AND OMISSIONS TO BE CONFIRMED WITH THE ARCHITECT. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION & SCHEDULES & REQUIRED SHOP DRAWINGS. ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

SITE ANALYSIS PLAN

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

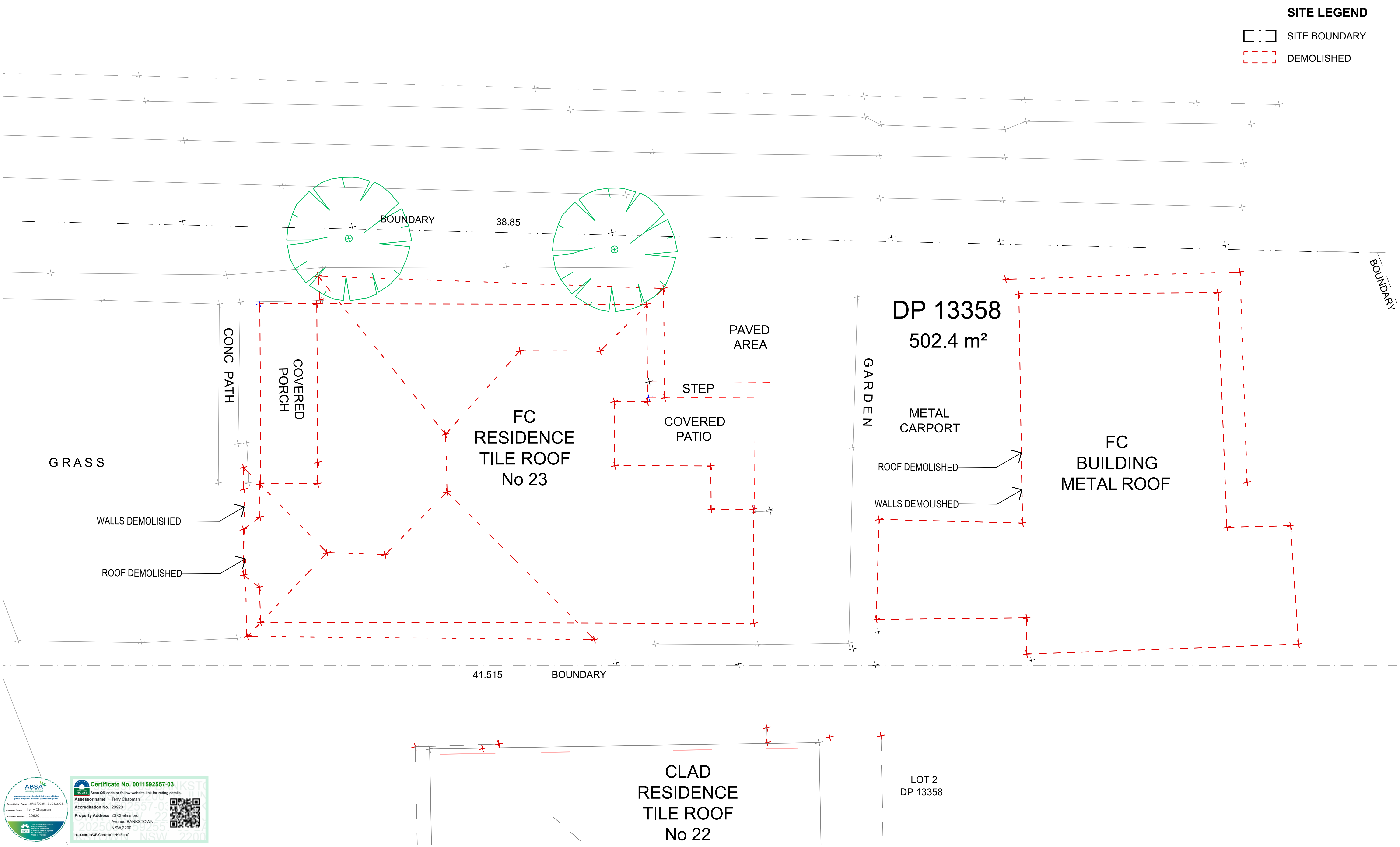
01

DRAWING NO.

DA02

N

SCALE:
1:200 @ A3



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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

DEMOLITION PLANS

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

01

DRAWING NO.

DA03

SCALE:

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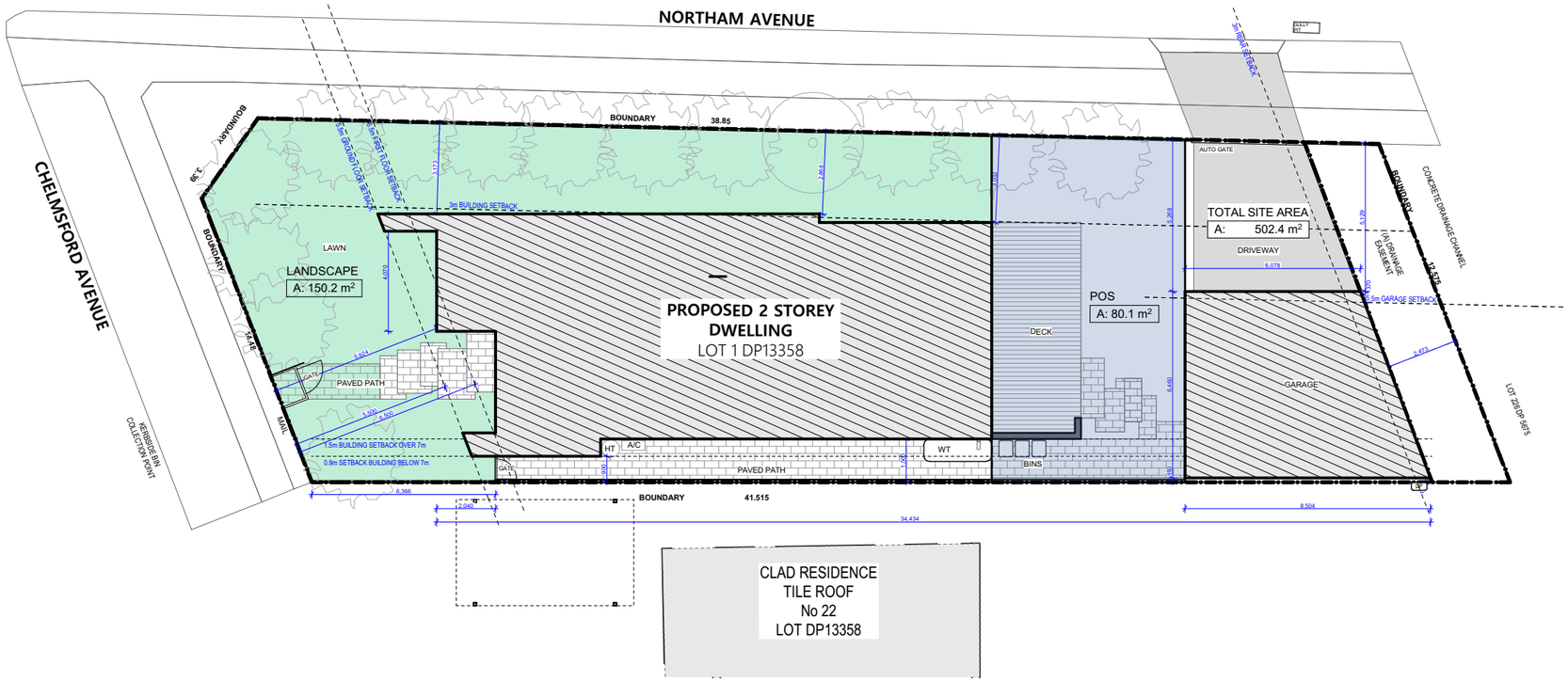

LEGEND

- PRIVATE OPEN SPACE
- PROPOSED BUILDING AREA
- LANDSCAPE AREA

PROPOSED SIET AREAS	
Zone Name	**Measured Area**
LANDSCAPE	**150.22**
POS	**80.10**
TOTAL SITE AREA	**502.42**

TOTAL PRIVATE OPEN SPACE

REQUIRED - 80m²
ACTUAL = 80m²

LANDSCAPED AREA

(a) a minimum 45% of the area between the dwelling house and the primary street frontage; and
(b) a minimum 45% of the area between the dwelling house and the secondary street frontage;

REQUIRED = 80m²
ACTUAL = 80m²

OTHER REQUIREMENTS:
Plant at least one 75 litre tree between the dwelling house and the primary street frontage (refer to the Landscape Guide for a list of suitable trees in Canterbury-Bankstown)

ARCHITECT
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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :
PROPOSED SITE PLAN

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA04

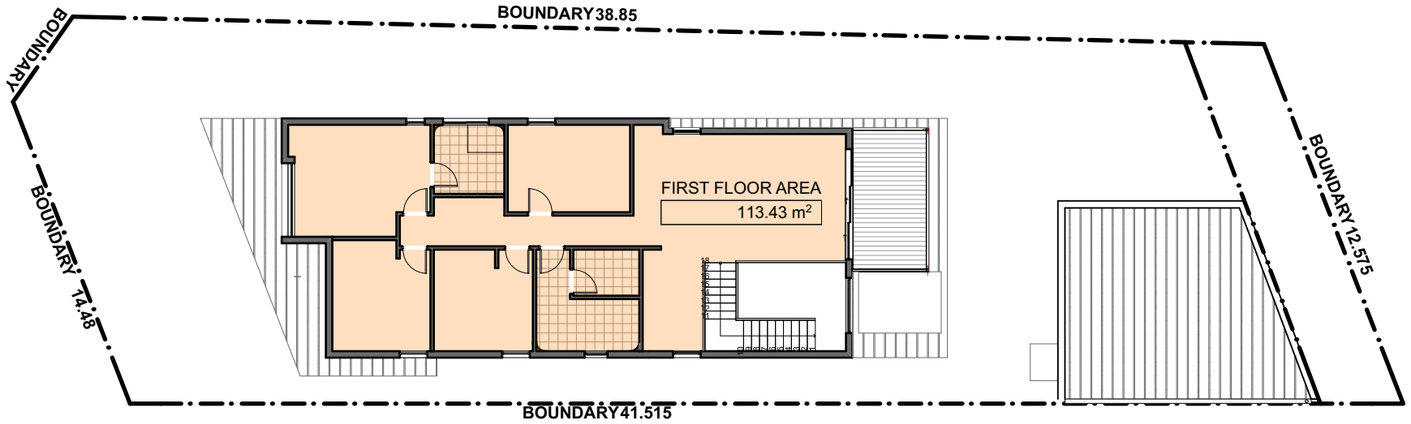
SCALE:
1:200 @ A3

LEP/DCP COMPLIANCE SUMMARY

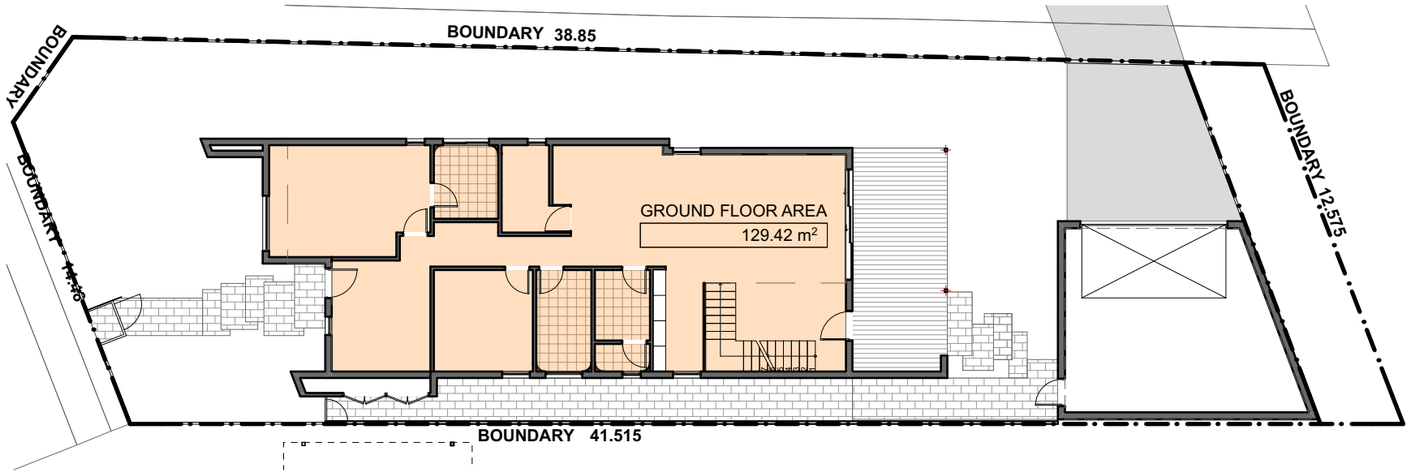
PROPOSED SIET AREAS	
Zone Name	**Measured Area**
LANDSCAPE	**150.22**
POS	**80.10**
TOTAL SITE AREA	**502.42**

PROPOSED INTERNAL FLOOR AREAS	
LEVEL	**FLOOR AREA (m2)**
FIRST FLOOR AREA	113.43
GROUND FLOOR AREA	129.42
	242.85 m²

LEP FSR - 1:1
PROPOSED FSR - 0.48:1



GFA FIRST FLOOR



GFA GROUND FLOOR

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NOTES

ABN 92 159 526 066
NSW NOMINATED ARCHITECT **6850** - JOANNE GILLIES
CLASS 2 REGISTERED DESIGN PRACTITIONER - ARCHITECTURAL **DEP0001284**

DRAWING NOT ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO MANUFACTURE & INSTALLATION. ALL ERRORS AND OMISSIONS TO BE CONFIRMED WITH THE ARCHITECT. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION & SCHEDULES & REQUIRED SHOP DRAWINGS. ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

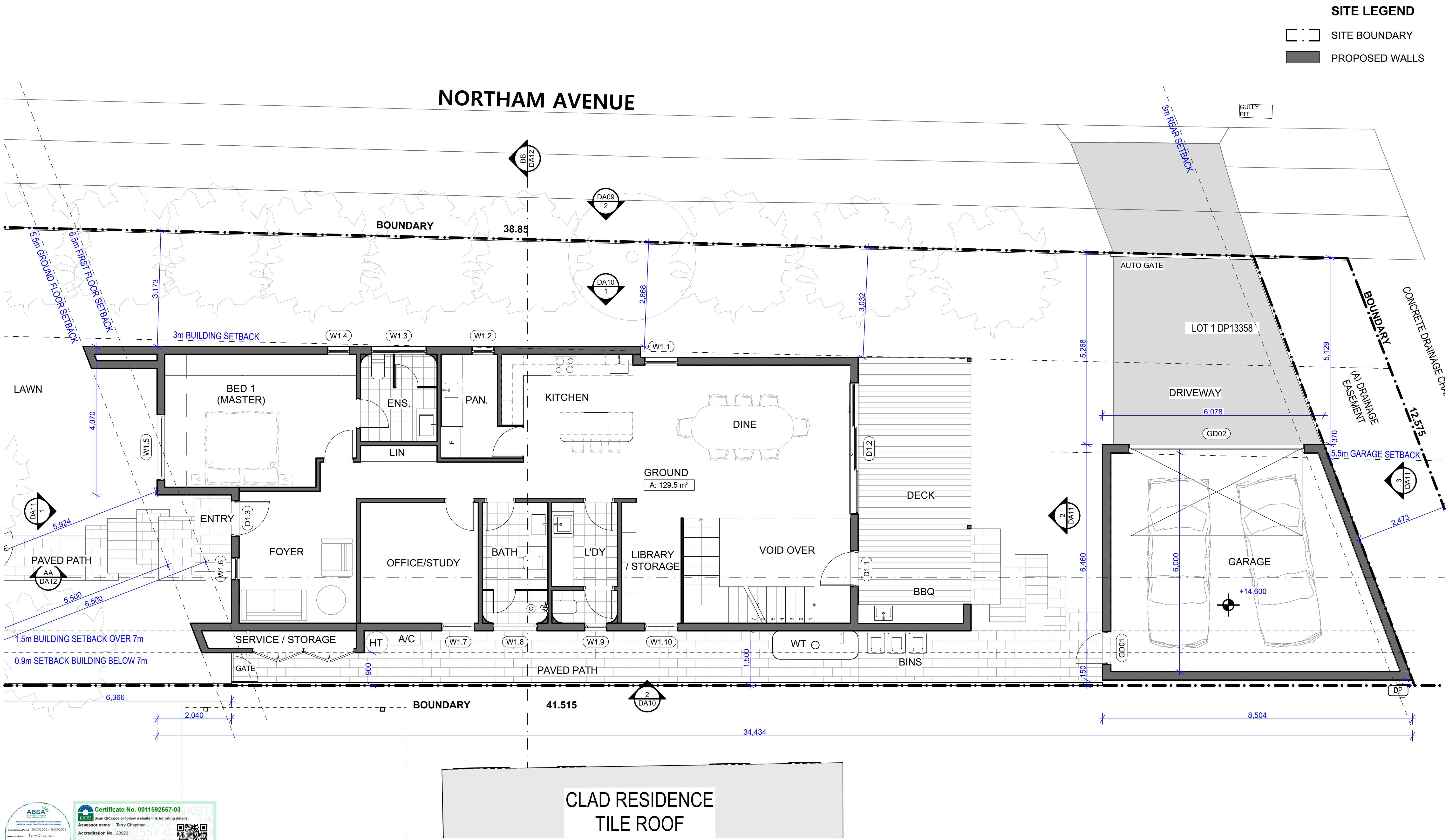
DRAWING TITLE :
FSR AREAS & COMPLIANCE

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA05

SCALE:
1:200 @ A3



ARCHITECT

ARCHISOUL ARCHITECTS

UNIT 23/28-34 ROSEBERRY STREET
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NSW NOMINATED ARCHITECT 6850 - JOANNE GILLIES
CLASS 2 REGISTERED DESIGN PRACTITIONER - ARCHITECTURAL DEP0001284

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked JG - JG
Plot Date: 3/06/2025
Project Status STAGE 1A
Client: Minh Tran
Project: 2271

DRAWING TITLE :
PROPOSED GROUND FLOOR PLAN

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

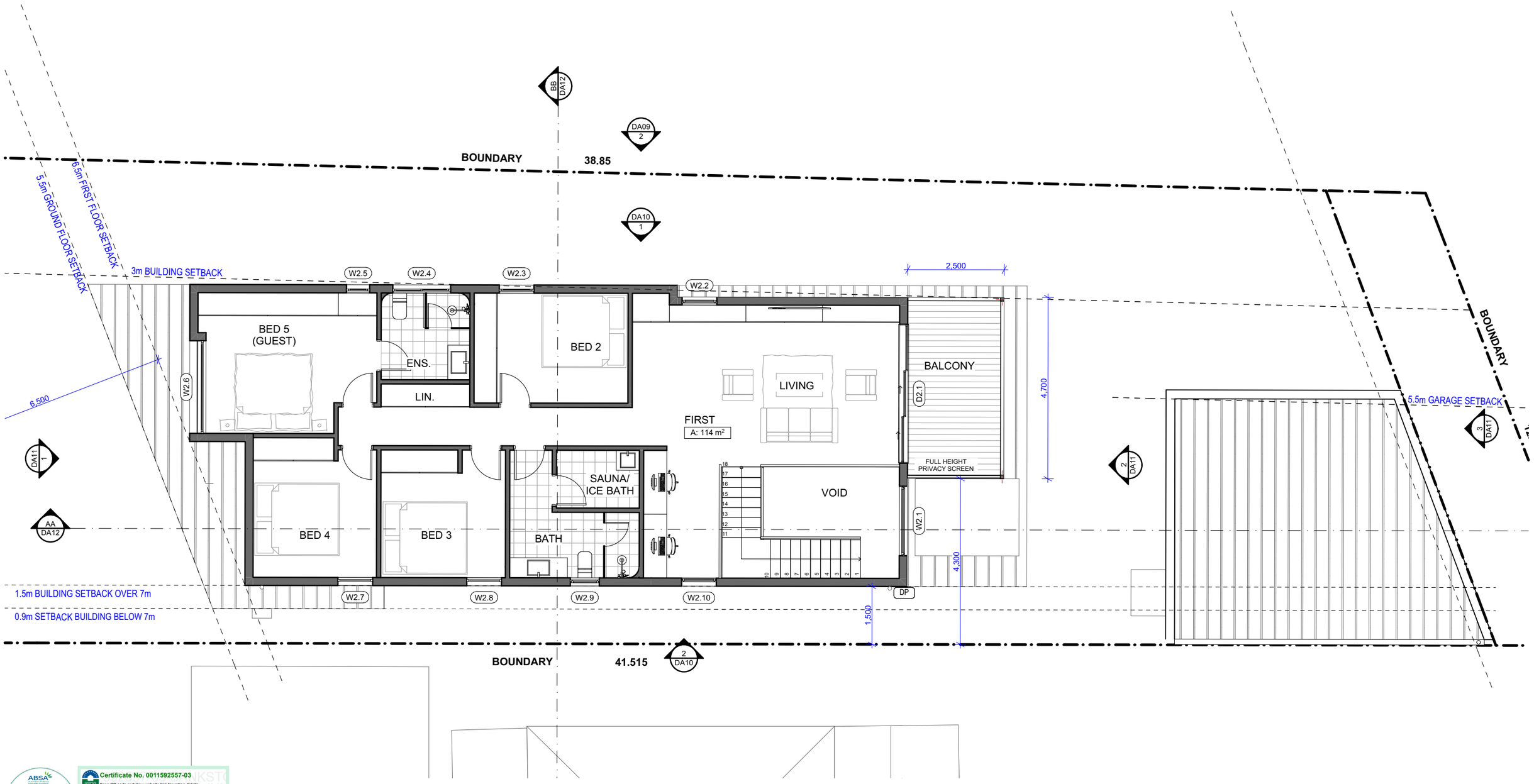
DRAWING NO.
DA06

SCALE:
1:100 @ A3

SITE LEGEND

SITE BOUNDARY

PROPOSED WALLS



ARCHITECT

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UNIT 23/28-34 ROSEBERRY STREET
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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED FIRST FLOOR PLAN

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

01

DRAWING NO.

DA07

N

SCALE:

1:100 @ A3

BB DA12

DA09 2

BOUNDARY 38.85

DA10 1

5.5m GROUND FLOOR SETBACK

6.5m FIRST FLOOR SETBACK

3m BUILDING SETBACK

EASEMENT FOR DRAINAGE

BOUNDARY

5.5m GARAGE SETBACK

3 DA11

12.575

DA11 1

2 DA11

2° ROOF PITCH

2° ROOF PITCH

AA DA12

BOX GUTTER

1.5m BUILDING SETBACK

0.9m 7m HIGH BUILDING SETBACK

BOUNDARY 41.515

2 DA10

CLAD RESIDENCE
TILE ROOF

ABSA

Certificate No. 0011592557-03

Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

Accreditation No. 20920

Property Address 23 Chelmsford Avenue,BANKSTOWN NSW,2200

hstar.com.au/QR/Generate?p=Yx8bpYsf

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED ROOF PLAN

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

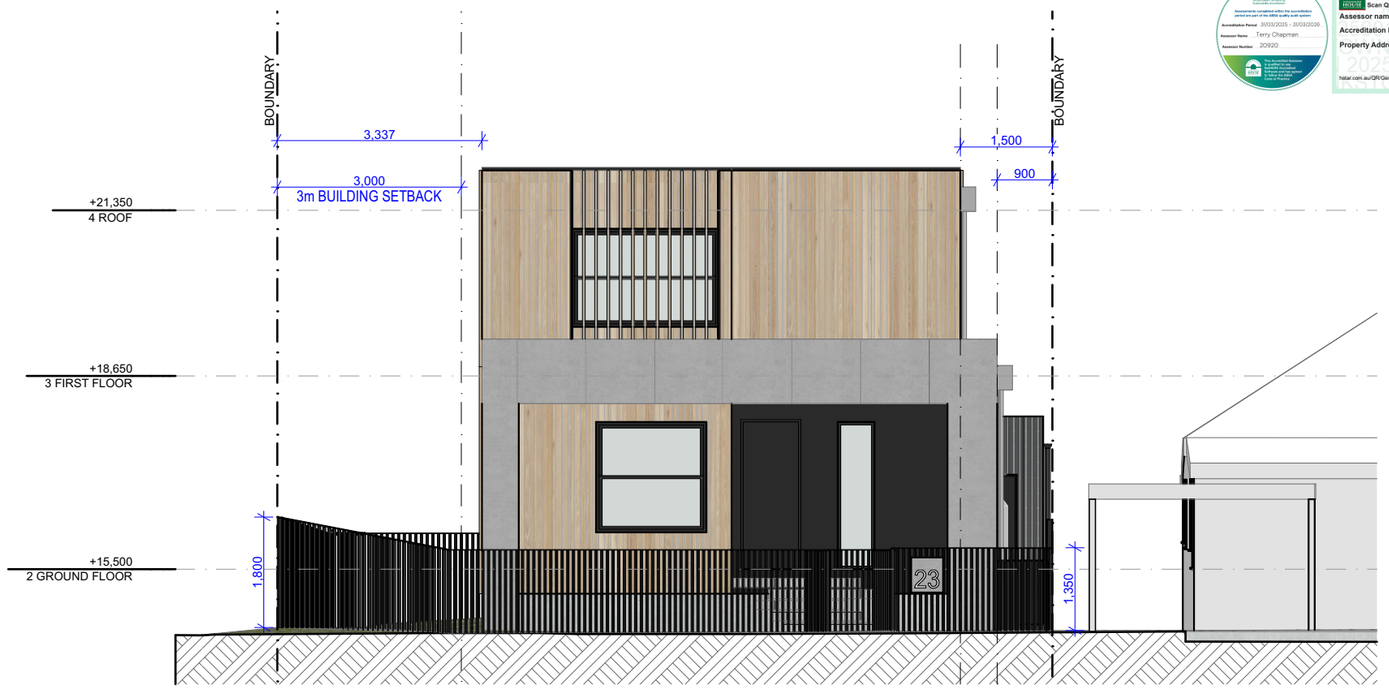
01

DRAWING NO.

DA08

N

SCALE:
1:100 @ A3



1 CHELMSFORD AVE STREET ELEVATION

BOUNDARY FENCING WITH MATCHING PROFILE GATES:
POWDER COATED ALUMINIUM VERTICAL BLADE FENCING
17mm X 65mm PROFILE

2 NORTHAM AVE STREET ELEVATION

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :
STREET ELEVATIONS

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA09

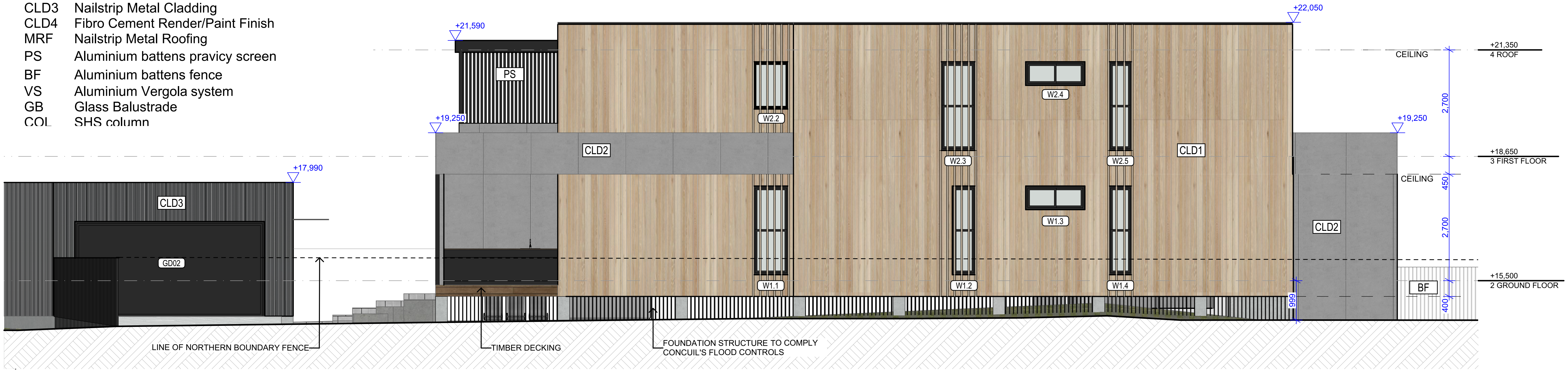
SCALE:
@ A3

ABSA Australian Building Sustainability Accreditation
Assessments completed within the accreditation period are part of the ABSA quality audit system
Accreditation Period 31/03/2025 - 31/03/2026
Assessor Name Terry Chapman
Assessor Number 20920
This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

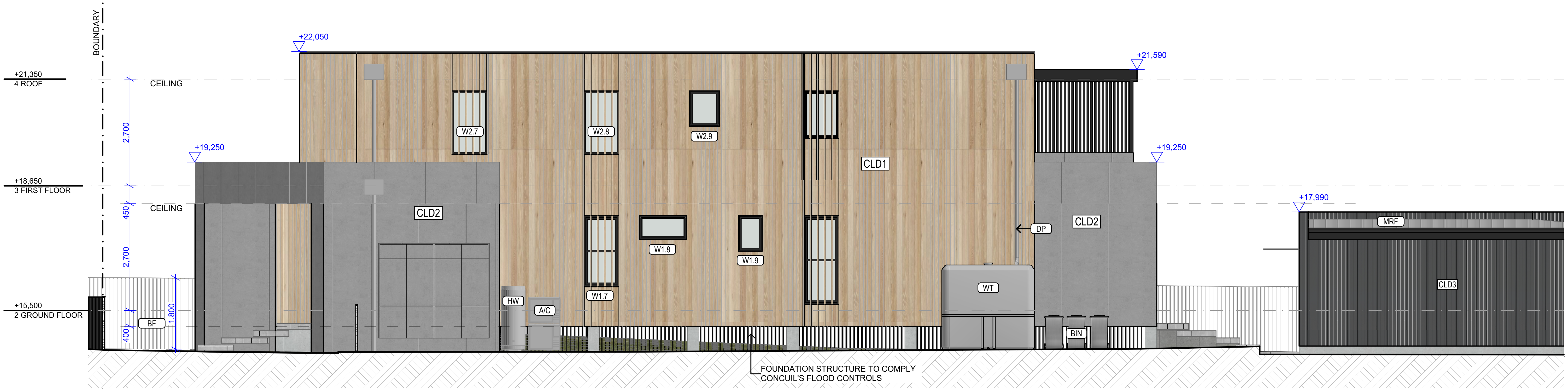
Certificate No. 0011592557-03
Scan QR code or follow website link for rating details.
Assessor name Terry Chapman
Accreditation No. 20920
Property Address 23 Chelmsford Avenue,BANKSTOWN NSW,2200
hstar.com.au/QR/Generate?p=iYdBprfxf

LEGEND

CLD1	Timber or Timber Look Cladding
CLD2	Fibro Cement Concrete Look Cladding
CLD3	Nailstrip Metal Cladding
CLD4	Fibro Cement Render/Paint Finish
MRF	Nailstrip Metal Roofing
PS	Aluminium battens pravicy screen
BF	Aluminium battens fence
VS	Aluminium Vergola system
GB	Glass Balustrade
COL	SHS column



1 NORTH ELEVATION



2 SOUTH ELEVATION

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BALGOWLAH NSW AUSTRALIA 2093
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NOTES

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :
PROPOSED NORTH & SOUTH ELEVATIONS

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

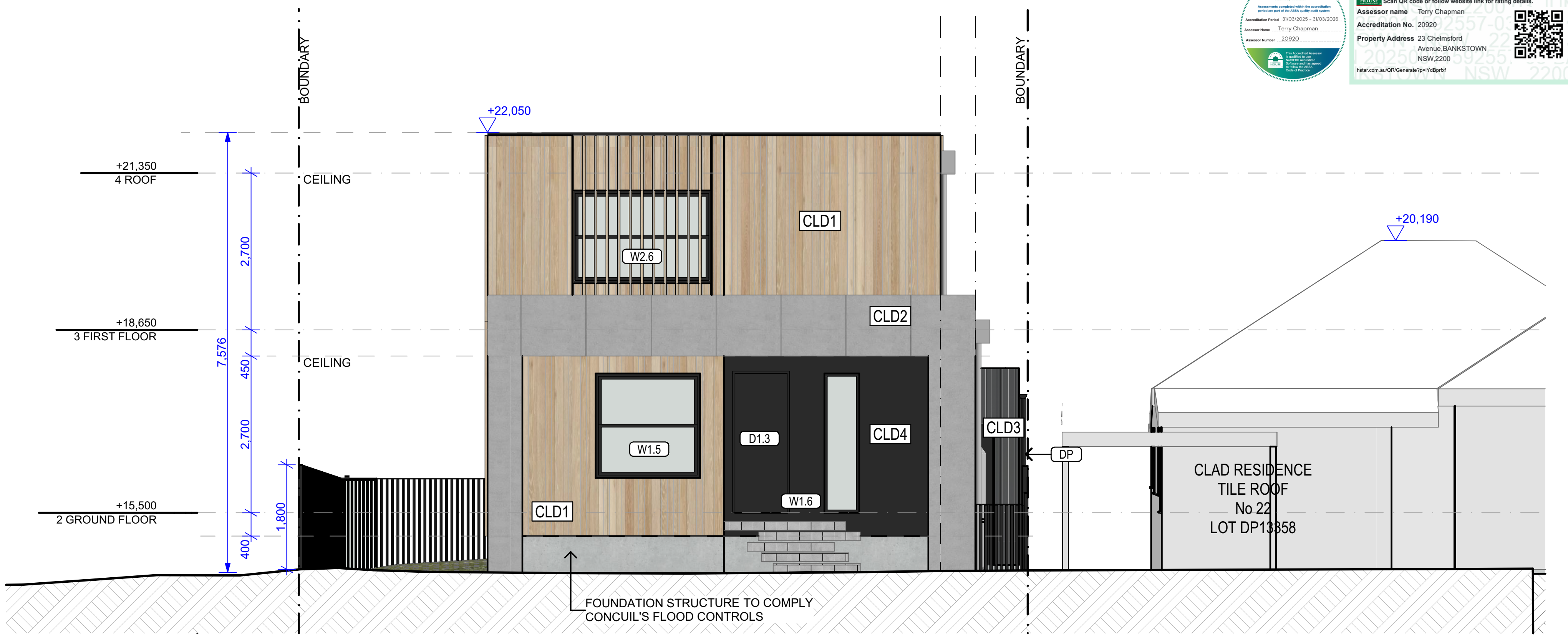
DRAWING NO.
DA10

SCALE:
1:100 @ A3

LEGEND

CLD1	Timber or Timber Look Cladding
CLD2	Fibro Cement Concrete Look Cladding
CLD3	Nailstrip Metal Cladding
CLD4	Fibro Cement Render/Paint Finish
MRF	Nailstrip Metal Roofing
PS	Aluminium battens pravicy screen
BF	Aluminium battens fence
VS	Aluminium Vergola system
GB	Glass Balustrade
COL	SHS column

Certificate No. 0011592557-03
Assessor name Terry Chapman
Accreditation No. 20920
Property Address 23 Chelmsford Avenue, BANKSTOWN NSW 2200



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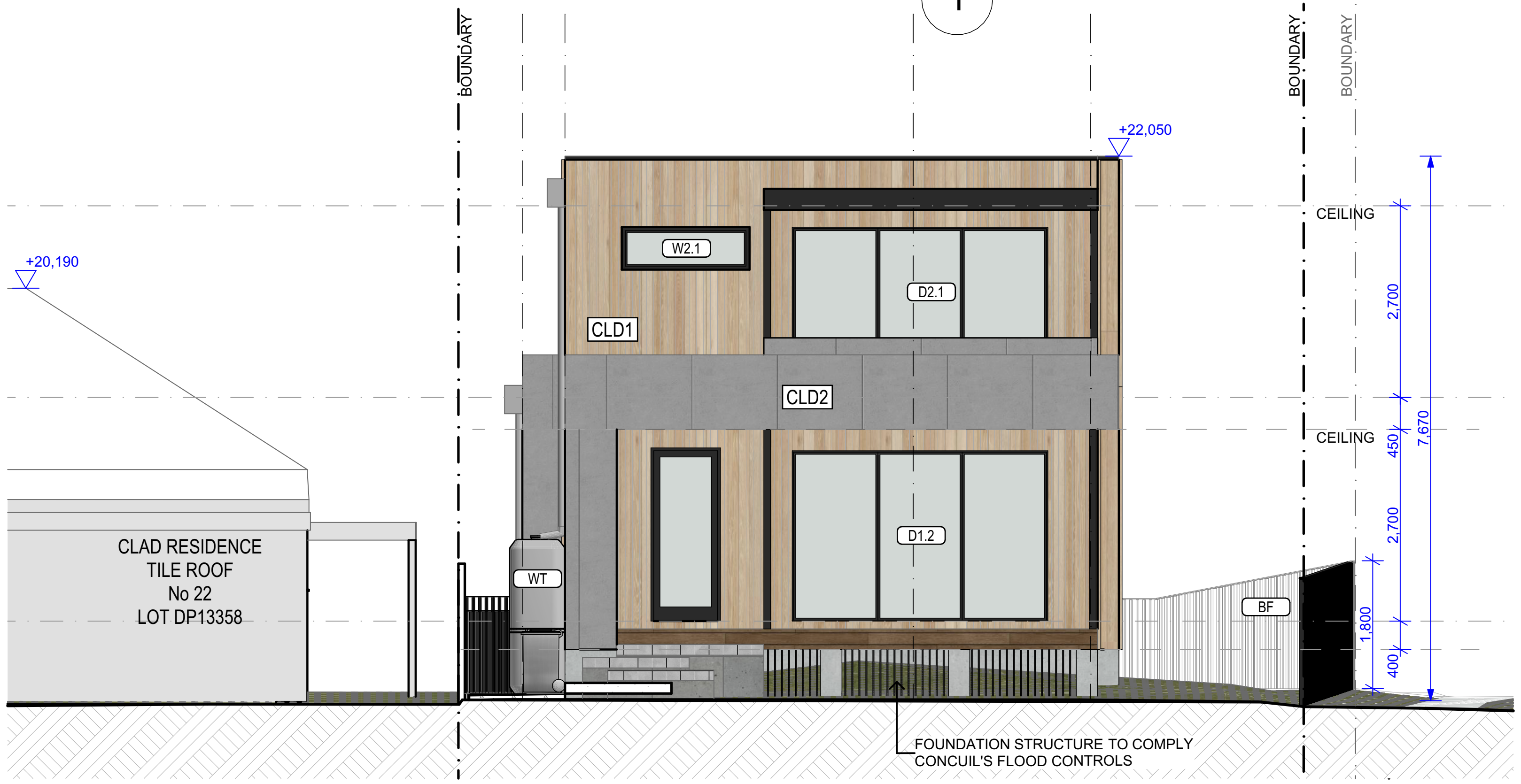

2 EAST ELEVATION

3 EAST ELEVATION - GARAGE

ARCHITECT

ARCHISOUL ARCHITECTS

UNIT 23/28-34 ROSEBERRY STREET
BALGOWLAH NSW AUSTRALIA 2093
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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

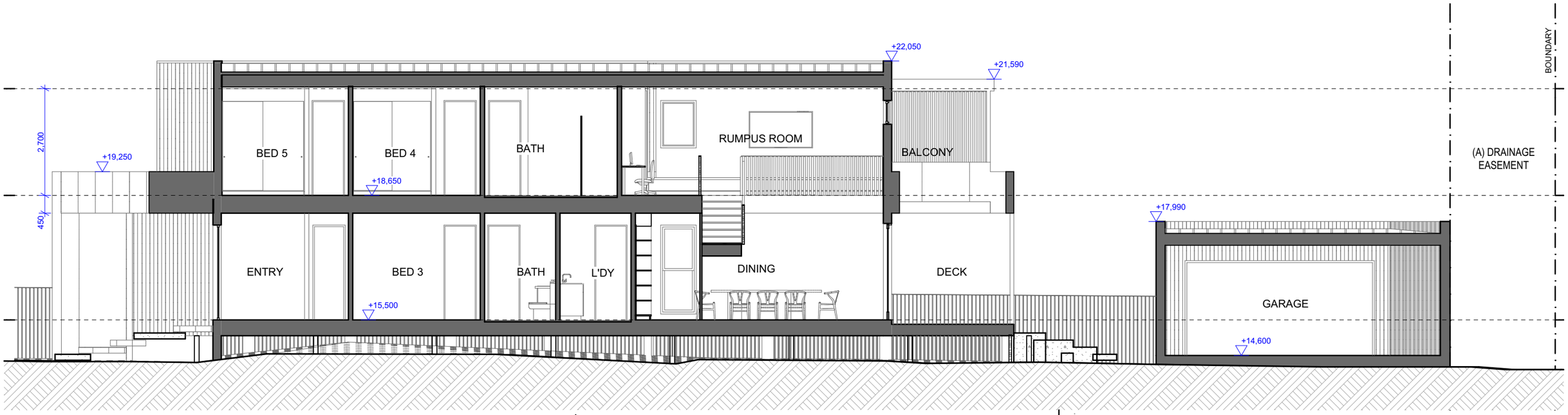
DRAWING TITLE :
PROPOSED EAST & WEST ELEVATIONS

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA11

SCALE:
1:100 @ A3



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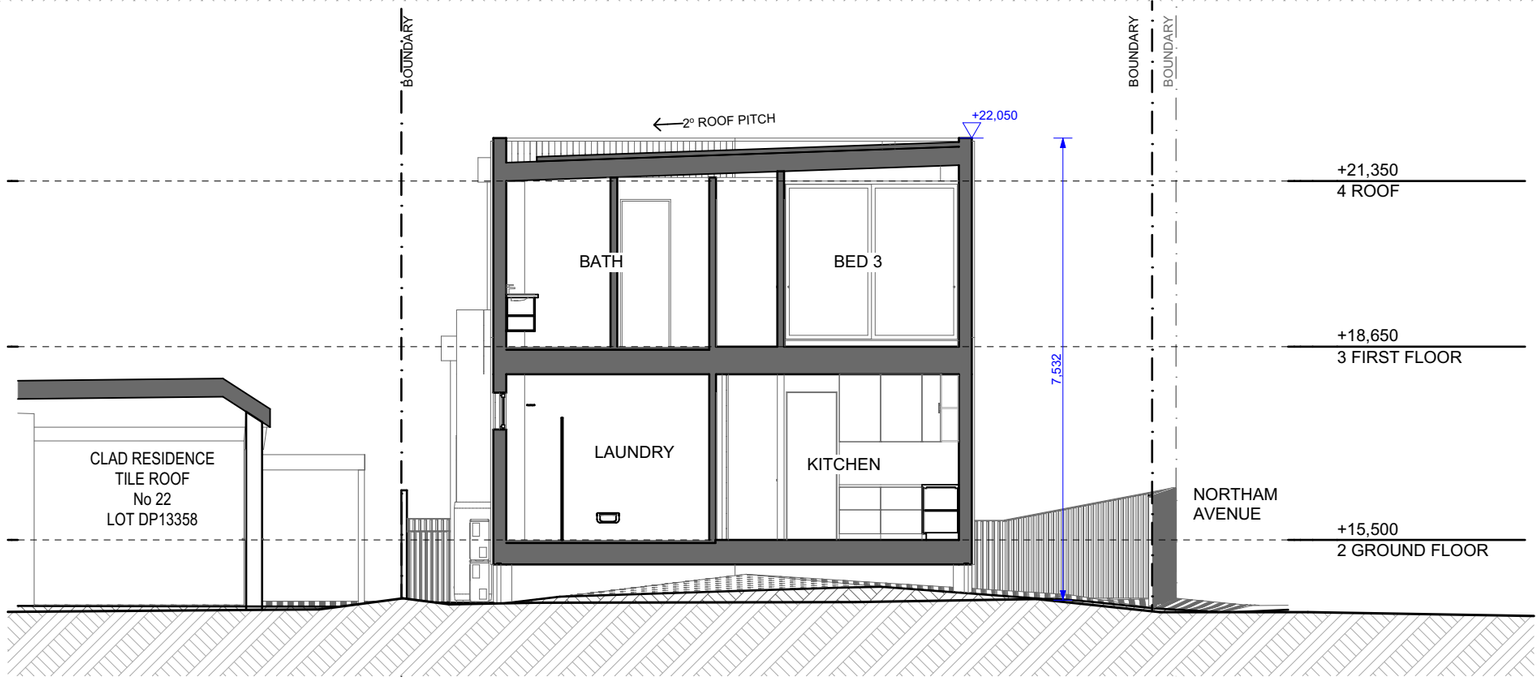

2 SECTION BB

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

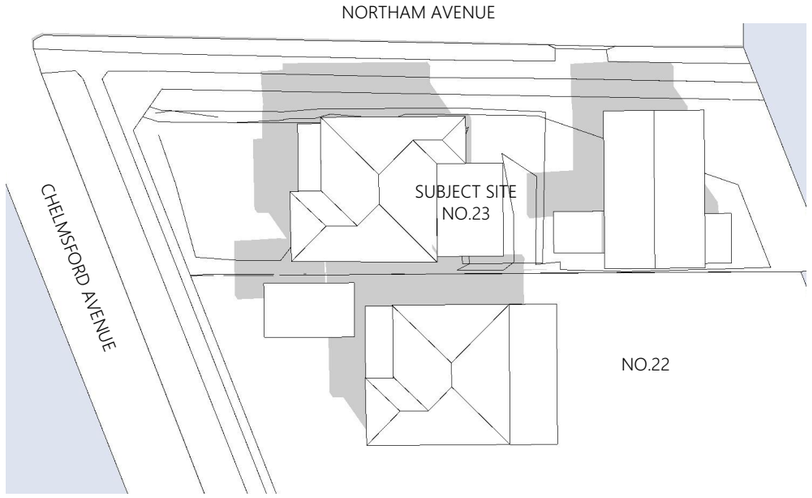
DRAWING TITLE :
PROPOSED SECTIONS

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA12

SCALE:
1:100 @ A3



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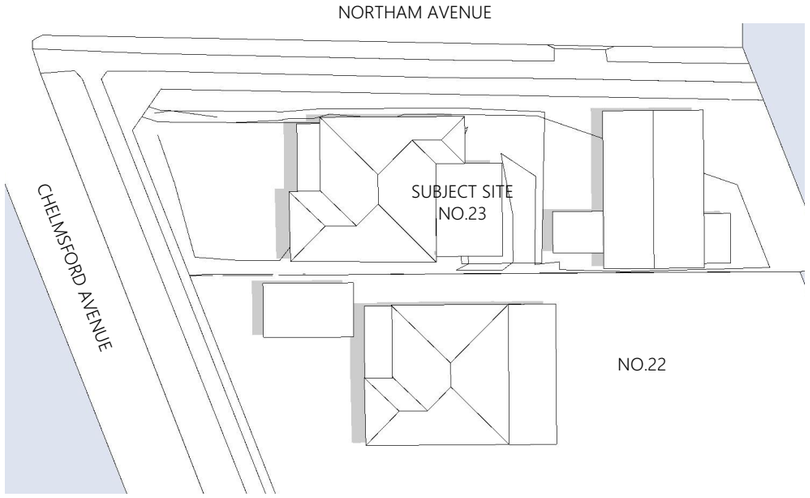

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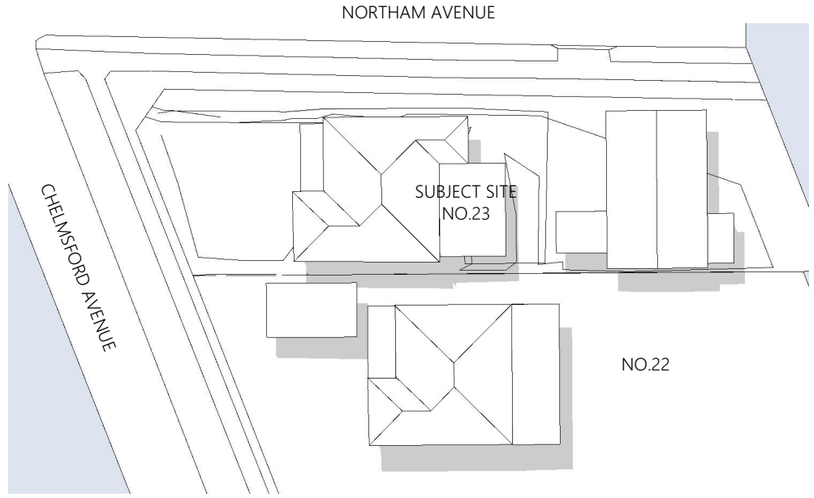

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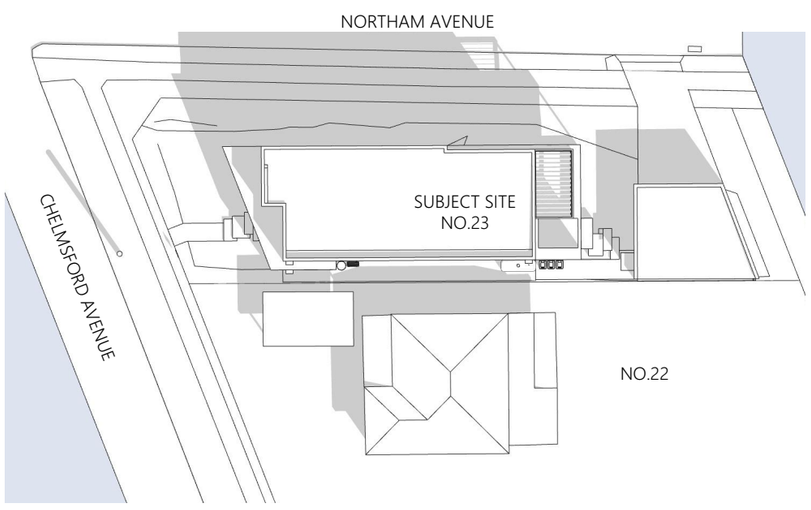
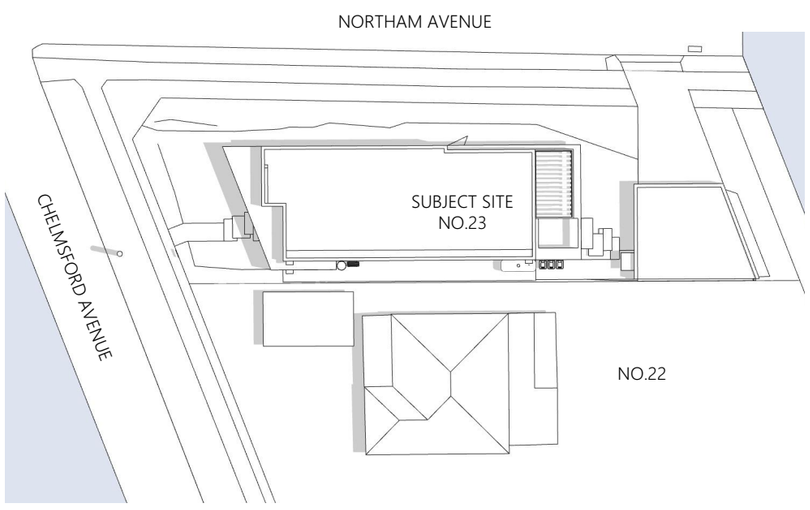


4 21 DEC 9AM - PROPOSED



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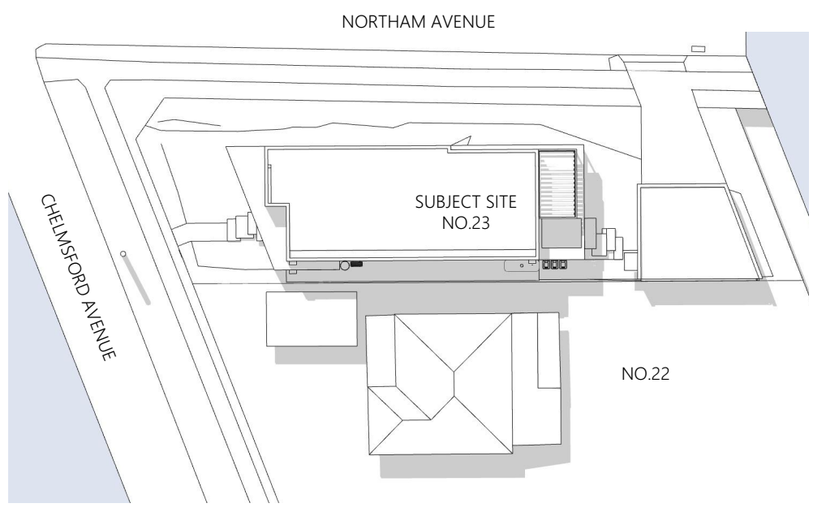

6 21 DEC 3PM - PROPOSED

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ARCHITECTS
UNIT 23/28-34 ROSEBERRY STREET
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NOTES

REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :
SHADOW DIAGRAMS 3D - SUMMER SOLTICE

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA13

N

SCALE:
@ A3

ABSA Australian Building Sustainability Accreditation

Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period 31/03/2025 - 31/03/2026

Assessor Name Terry Chapman

Assessor Number 20920

This Accredited Assessor is qualified to use NatHERS Accredited Software and has agreed to follow the ABSA Code of Practice

Certificate No. 0011592557-03

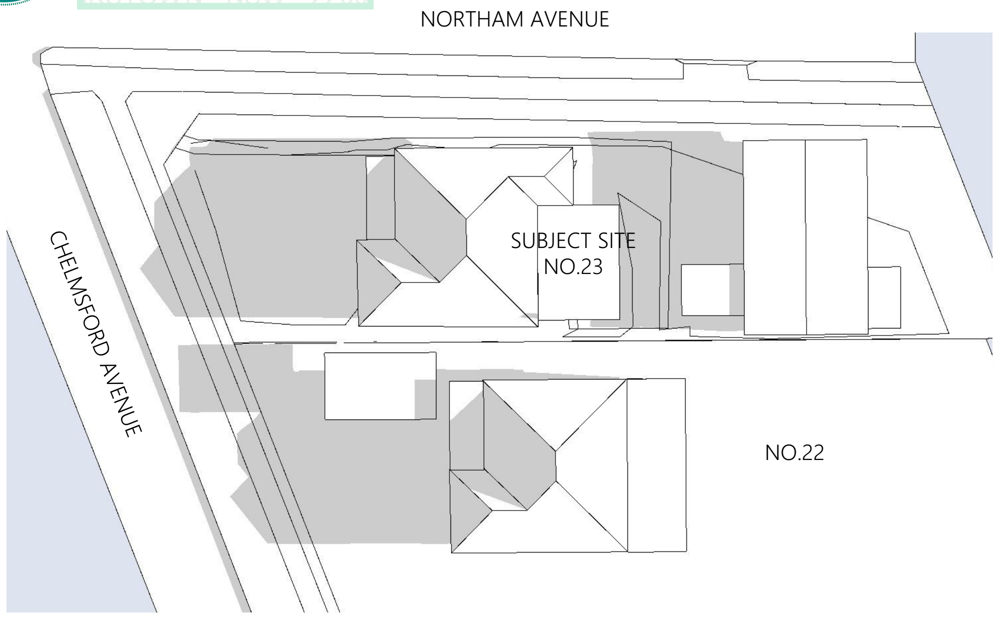
Scan QR code or follow website link for rating details.

Assessor name Terry Chapman

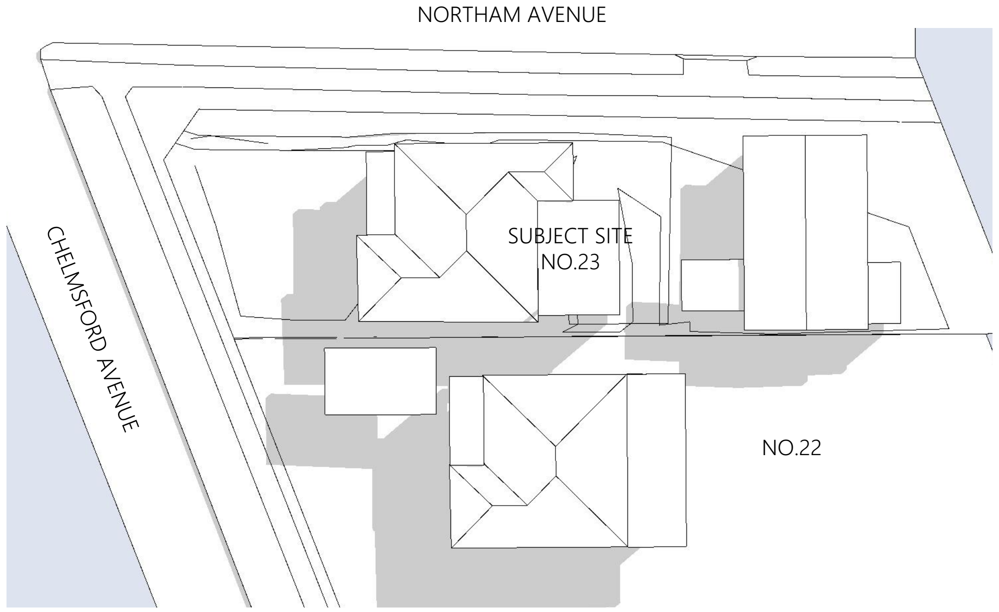
Accreditation No. 20920

Property Address 23 Chelmsford Avenue,BANKSTOWN NSW,2200

hstar.com.au/QR/Generate?p=iYdBprfxf



1 21 JUN 9AM - EXISTING



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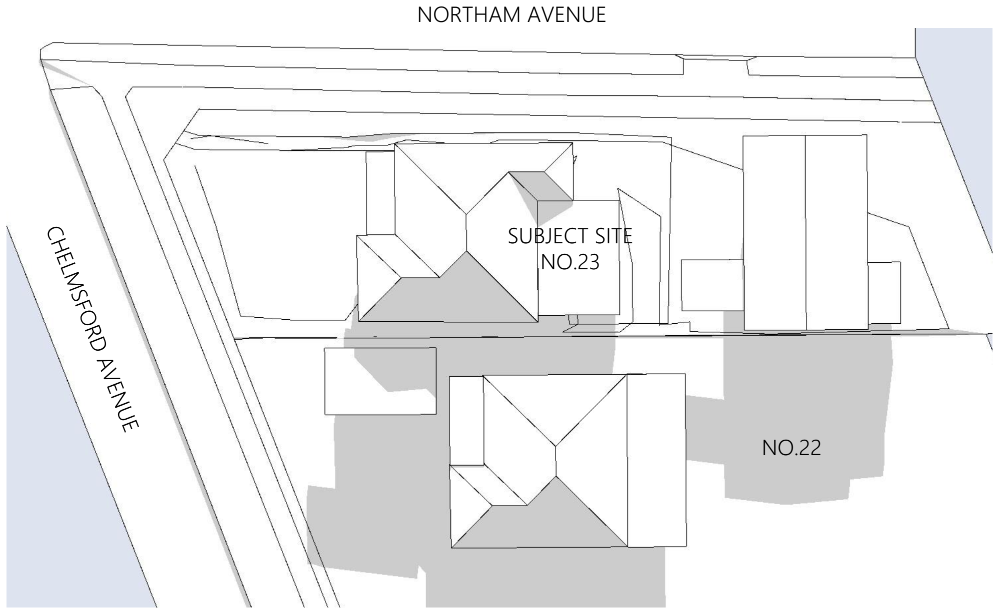

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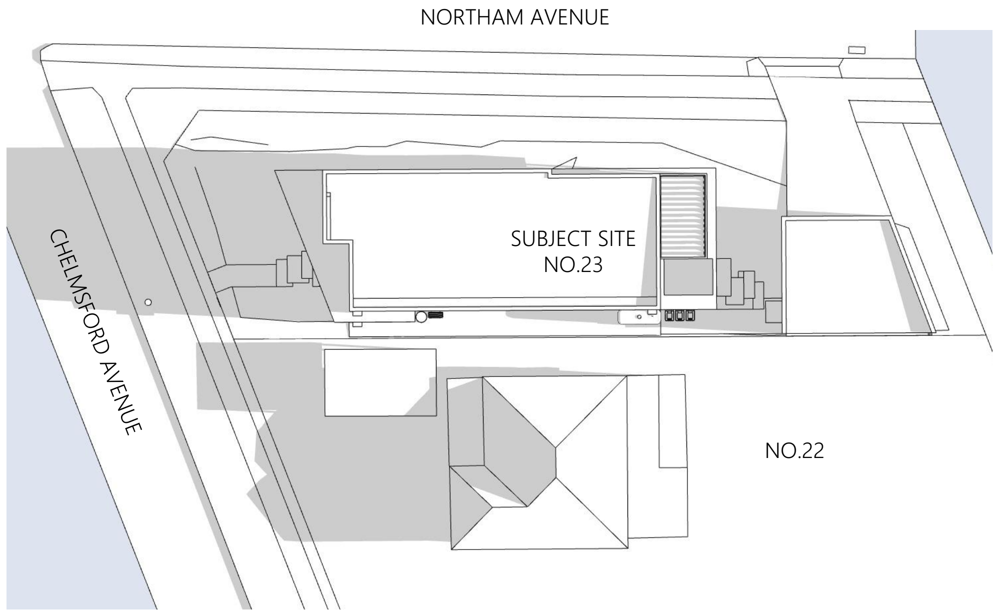

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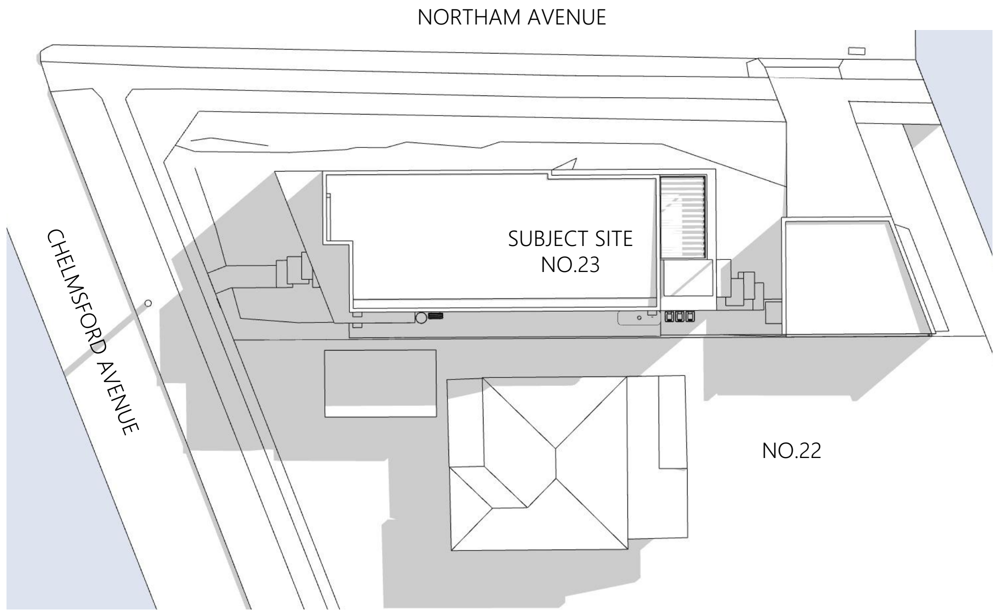

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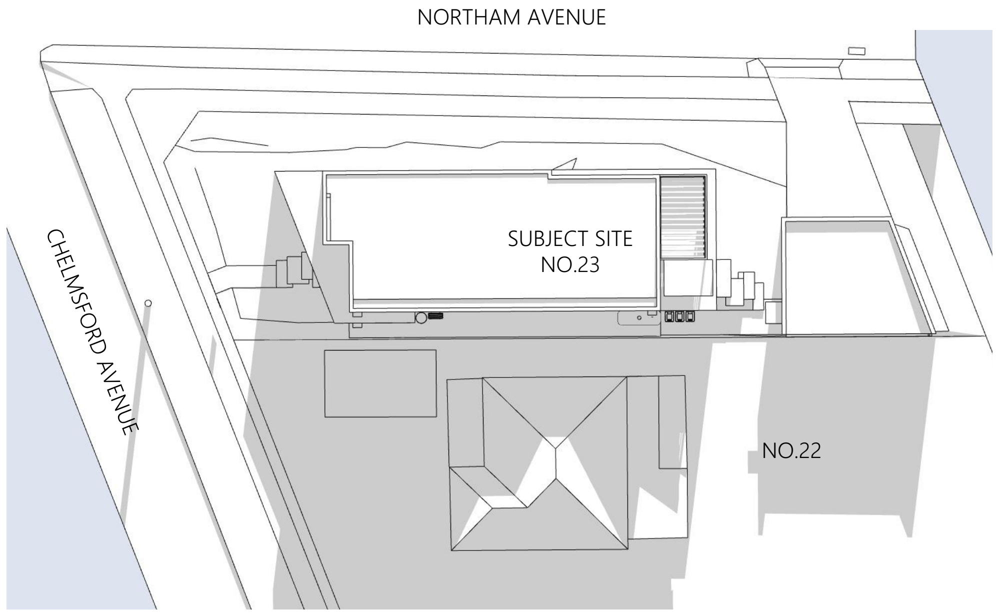

6 21 JUN 3PM - PROPOSED

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Ph: 02 9976 5449
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NOTES

ABN 92 159 526 066
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CLASS 2 REGISTERED DESIGN PRACTITIONER - ARCHITECTURAL **DEP0001284**

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

SHADOW DIAGRAMS 3D - WINTER SOLTICE

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

01

DRAWING NO.

DA14

N

SCALE:

@ A3

DOOR SCHEDULE				
ID	D1.1	D1.2	D1.3	D2.1
TYPE				
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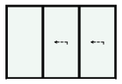
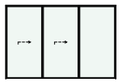
ROOM				
ELEVATION VIEW (EXTERNAL)				
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FRAME WIDTH x HEIGHT (mm)	900×2,400	3,600×2,400	900×2,400	3,600×2,400
ORIENTATION	NORTH	NORTH	NORTH	NORTH
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 4.10 OR LESS	U-VALUE 3.00 OR LESS	U-VALUE 4.10 OR LESS	U-VALUE 3.00 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None
FLY SCREENS	☐	☒	☐	☒
BAL RATING	N/A	N/A	N/A	N/A
NOTES				

Basix Requirements Summary

New Dwelling
23 Chelmsford Avenue
BANKSTOWN NSW 2200

Prepared by Chapman Environmental Services
www.cesenergy.com.au
1300 004 914

Water Target	40	Water Score	45	Conditioned Area	231.7
Energy Target	72	Energy Score	72	Unconditioned Area	32.3
Max H & C Loads are (MJ/m²)	30	Actual H & C Loads are (MJ/m²)	29.5	Star Rating	7.1

Basix Commitments

Landscaping	Total area of garden & lawn (m²)	100	Area of indigenous/low water use plants (m²)	0			
Fixtures	Shower heads	4 star (> 6 but <= 7.5 L/min)	Toilets	4 star	All taps	4 star	
Alternative Water	Minimum Rainwater tank size (L)	3000	Collect run off from roof area of at least (m²)	100			
	Toilet connection: No	Laundry connection: Yes	Landscape connection: Yes	Pool top up: n/a	Spa top up: n/a		
Pool and Spa	Max pool volume (kL)	n/a					

Energy	Hot water system	Electric heat pump - air sourced	Rating	26 to 30 STCs	
	Bathroom ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Kitchen ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Laundry ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off	
	Cooling - living areas	Ceiling fans + 1-phase airconditioning	Rating	EER 3.0 - 3.5	Zoned
	Cooling - bedrooms	1-phase airconditioning	Rating	EER 3.0 - 3.5	
	Heating - living areas	1-phase airconditioning	Rating	EER 3.0 - 3.5	
	Heating - bedrooms	1-phase airconditioning	Rating	EER 3.0 - 3.5	
	Alternate Energy	Photovoltaic system able to generate at least	**n/a**	peak kilowatts of electricity	
	Electric cooktop & electric oven	Outdoor clothesline required		No indoor clothesline required	

Thermal Performance Assessment Based on the Following Requirements

Floor Types	35mm Alpha panel flooring system	with	No insulation required	
Floor Coverings	Tiles: Living / Wet areas		Timber: n/a	
	Carpet: Bedrooms		Concrete: Garage	
External Walls	Timber framed Fibro clad	with	Sarking and R2.5 bulk insulation	Colour: Medium
Internal Walls	Plasterboard	with	R2.5 bulk insulation to laundry and 2x bathrooms only	
Ceiling (floor over)	35mm Alpha panel flooring system	with	No insulation required	
Ceilings (roof over)	Timber above plasterboard.	with	R4.0 bulk insulation	
Roof	Metal, 5 degrees	with	R1.3 roof blanket (exc garage)	Colour: Medium

Windows and Doors	AF double glazed clear	Sliding W	VAN-003-02	U-Value 4.70 or less / SHGC 0.48 +/- 5%
		Awning W	AWS-023-36	U-Value 5.00 or less / SHGC 0.48 +/- 5%
		D-Hung W	VAN-002-26	U-Value 4.60 or less / SHGC 0.50 +/- 5%
		Fixed W	AWS-069-08	U-Value 3.60 or less / SHGC 0.69 +/- 5%
		Sliding D	AWS-077-31	U-Value 3.30 or less / SHGC 0.44 +/- 5%
		Hinged D	AWS-019-01	U-Value 4.10 or less / SHGC 0.52 +/- 5%
	to all windows and glazed doors unless noted otherwise			
	AF = Aluminium Framed; TB = Thermally Broken Aluminium Framed; TF = Timber Framed			

If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent
Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed
All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA
If there is a discrepancy between this document and the Nathers Certificate, then the Nathers Certificate shall take precedence

Notes: 2x Ceiling fans to lower and upper living areas

Certificate No. 0011592557-03
Assessor name: Terry Chapman
Accreditation No.: 20920
Property Address: 23 Chelmsford Avenue,BANKSTOWN NSW,2200

ARCHITECT
ARCHISOUL ARCHITECTS
UNIT 23/28-34 ROSEBERRY STREET
BALGOWLAH NSW AUSTRALIA 2093
Ph: 02 9976 5449
www.archisoul.com.au

REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

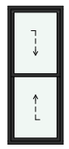
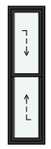
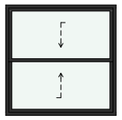
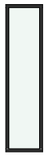
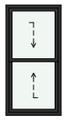
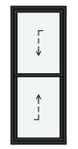
DRAWING TITLE :
PROPOSED DOOR SCHEDULES

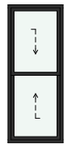
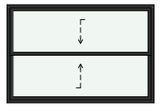
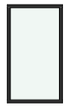
PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO. **01**

DRAWING NO. **DA15**

SCALE: **@ A3**

WINDOW SCHEDULE												
ID	W1.1	W1.2	W1.3	W1.4	W1.5	W1.6	W1.7	W1.8	W1.9	W1.10	W2.1	W2.2
TYPE												
LEVEL	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM												
ELEVATION VIEW (EXTERNAL)												
AREA (m2)	2.03	1.35	0.90	1.35	3.24	1.44	1.62	0.72	0.54	2.03	1.08	1.08
FRAME WIDTH x HEIGHT (mm)	900×2,250	600×2,250	1,500×600	600×2,250	1,800×1,800	600×2,400	900×1,800	1,200×600	600×900	900×2,250	1,800×600	900×1,200
ORIENTATION	WEST	WEST	WEST	WEST	WEST	EAST	EAST	WEST	WEST	WEST	EAST	WEST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None	None	None	None	None	None	None	None	None
FLY SCREENS	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒
BAL RATING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NOTES												

WINDOW SCHEDULE								
ID	W2.3	W2.4	W2.5	W2.6	W2.7	W2.8	W2.9	W2.10
TYPE								
LEVEL	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM								
ELEVATION VIEW (EXTERNAL)								
AREA (m2)	2.03	0.90	1.35	3.84	1.44	1.44	0.68	1.08
FRAME WIDTH x HEIGHT (mm)	900×2,250	1,500×600	600×2,250	2,400×1,600	900×1,600	900×1,600	750×900	900×1,200
ORIENTATION	WEST	WEST	WEST	WEST	EAST	EAST	EAST	WEST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None	None	None	None	None
FLY SCREENS	☒	☒	☒	☒	☒	☒	☒	☒
BAL RATING	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NOTES								

ARCHITECT

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NOTES

ABN 92 159 526 066
NSW NOMINATED ARCHITECT **6850** - JOANNE GILLIES
CLASS 2 REGISTERED DESIGN PRACTITIONER - ARCHITECTURAL **DEP0001284**

DRAWING NOT ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO MANUFACTURE & INSTALLATION. ALL ERRORS AND OMISSIONS TO BE CONFIRMED WITH THE ARCHITECT. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION & SCHEDULES & REQUIRED SHOP DRAWINGS. ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED WINDOW SCHEDULES

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

01

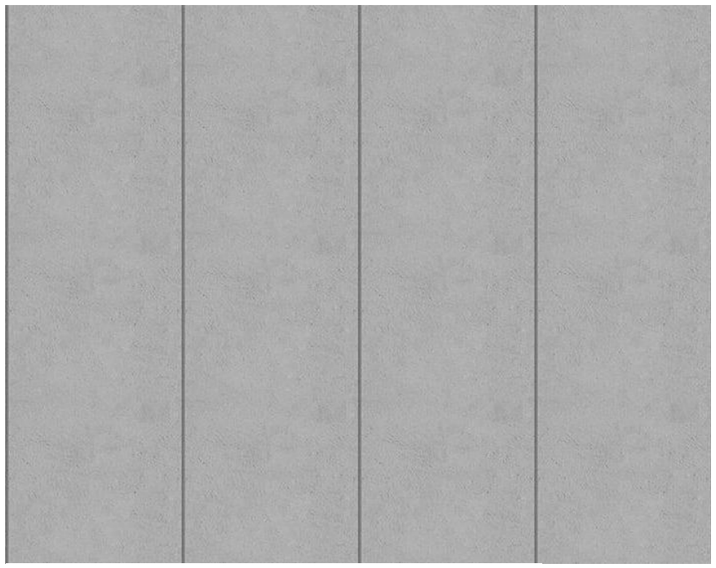
DRAWING NO.

DA16

SCALE:

@ A3

CLD1 - Timber or Timber look external cladding



CLD2 - Fibro Cement Concrete look external cladding

CLD3 - Nailstrip Metal Cladding
MRF - Nailstrip Metal Roofing

Concrete floating steps to front entry and rear deck

PS & BF - Aluminium battens pravicy screen
& boundary fence

VS - Vergola system
Colour Monument

Note - configuration, colours and finishes are for illustration purposes only.

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PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

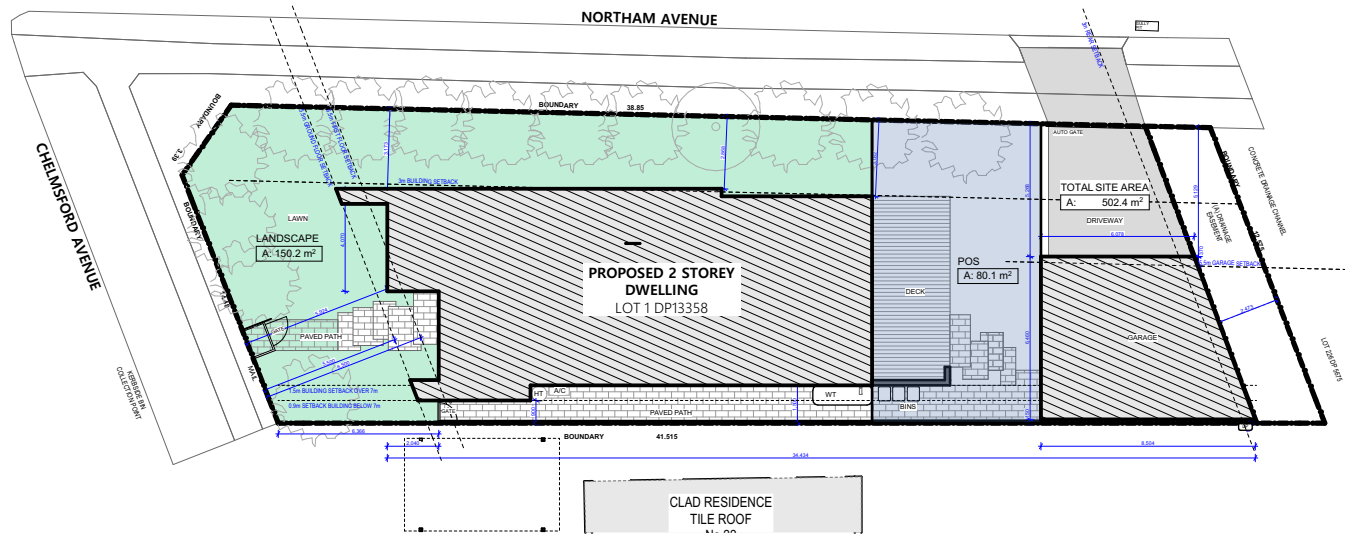
DRAWING TITLE :
EXTERNAL FINISHES SCHEDULE

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

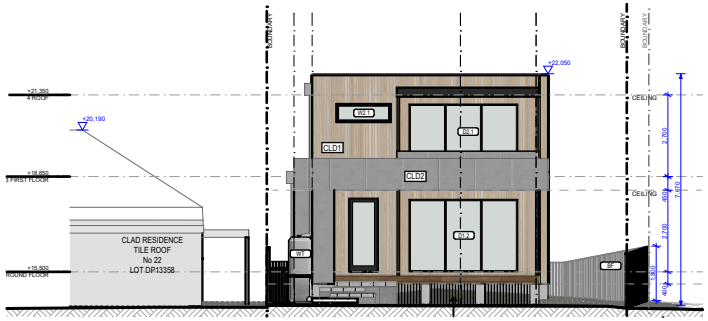
DRAWING NO.
DA17

SCALE:
@ A3



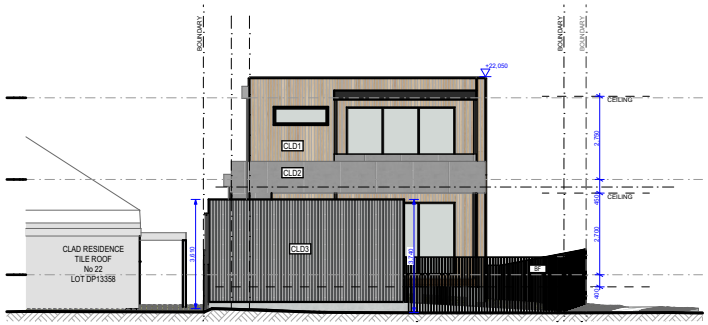
PROPOSED SITE PLAN
1:300

WEST ELEVATION
1:250



EAST ELEVATION
1:250

SOUTH ELEVATION
1:250



EAST ELEVATION - GARAGE
1:250

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**
Project: **2271**

DRAWING TITLE :
NEIGHBOUR NOTIFICATION PLANS

PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01

DRAWING NO.
DA18

SCALE:
1:300, 1:250 @ A4

Appendix C

Flood-Compatible Materials and Building Components for New Works

Note: Flood-compatible materials will be used up to the Flood Planning Level.

BUILDING COMPONENT	FLOOD COMPATIBLE MATERIAL	BUILDING COMPONENT	FLOOD COMPATIBLE MATERIAL
Flooring and Sub-floor Structure	▪ concrete slab-on-ground monolith construction ▪ Suspended reinforced concrete slab	Doors	▪ solid panel with waterproof adhesives ▪ flush door with marine ply filled with closed cell foam ▪ painted metal construction ▪ aluminium or galvanised steel frame
Floor Covering	▪ clay tiles ▪ concrete, precast or in-situ ▪ concrete tiles ▪ epoxy, form-in-place ▪ mastic flooring, formed-in-place ▪ rubber sheets or tiles with chemical-set adhesives ▪ silicone floors formed in-place ▪ vinyl sheets or	Wall and Ceiling Linings	▪ fibro-cement board ▪ brick, face or glazed ▪ clay tile glazed in waterproof mortar ▪ concrete ▪ concrete block ▪ steel with waterproof applications ▪ stone, natural solid or veneer, waterproof grout ▪ glass blocks

	tiles with		▪ glass

	chemical-set adhesive ▪ ceramic tiles, fixed with mortar or chemical-set adhesive ▪ asphalt tiles, fixed with water resistant adhesive ▪ linoleum		▪ plastic sheeting or wall with waterproof adhesive
Wall Structure	▪ solid brickwork, blockwork, reinforced, concrete or mass concrete	Insulation Windows	▪ foam (closed cell types) ▪ aluminium frame with stainless steel ▪ rollers or similar corrosion and water resistant material
Roofing Structure (for Situations where the Relevant Flood Level is Above the Ceiling)	▪ reinforced concrete construction ▪ galvanised metal construction	Nails, Bolts, Hinges and Fittings	▪ brass, nylon or stainless steel ▪ removable pin hinges ▪ hot dipped galvanised steel wire, nails or similar.

Electrical and Mechanical Equipment For buildings constructed on land to which this Plan applies, the electrical and mechanical materials, equipment and Installation should conform to the following requirements.	Heating and Air Conditioning Systems Heating and air conditioning systems should be installed in areas and spaces of the building above the relevant flood level to the maximum extent possible. When this is not feasible, every precaution should be taken to minimise the damage caused by submersion according to the following guidelines.
Main power supply Subject to the relevant authority's approval, the incoming main commercial power service equipment, including all metering equipment, shall be located above the relevant flood level. This means that the building shall be easily disconnected from the main power supply.	Fuel Heating systems using gas or oil as fuel should have a manually operated valve located in the fuel supply line to enable fuel cut-off.
Wiring All wiring, power outlets, switches, etc, should, to the maximum extent possible, be located above the relevant flood level. All electrical wiring installed below the relevant flood level should be suitable for continuous submergence in water and should contain no fibre.	Installation The heating equipment and fuel storage tanks should be mounted on and securely anchored to a foundation pad of sufficient mass to overcome buoyancy and prevent movement that could damage the

Components. Earth core linkage systems (or safety switches) are to be installed. Only submersible-type splices should be used below the relevant flood level. All conducts located below the relevant designated flood level should be so installed that they will be self draining if subjected to flooding.	fuel supply line. All storage tanks should be vented to the FPL.
Equipment All equipment installed below or partially below the relevant flood level should be capable of disconnection by a single plug and socket assembly.	Ducting All ductwork located below the relevant flood level should be provided with openings for drainage and cleaning. Self draining may be achieved by constructing the ductwork on a suitable grade. Where ductwork must pass through a water-tight wall or floor below the relevant flood level, the ductwork should be protected by a closure assembly operated from above relevant flood level.

Reconnection Should any electrical device and/or part of the wiring be flooded, it should be thoroughly cleaned or replaced and checked by an approved electrical contractor before reconnection.	Ancillary Structures (steps, pergolas, etc.) Suitable water-tolerant materials should be used, such as reinforced concrete, masonry, sealed hardwood, and corrosive-resistant metals. Copper Chrome Arsenate (CCA) treated timber is not a suitable material.